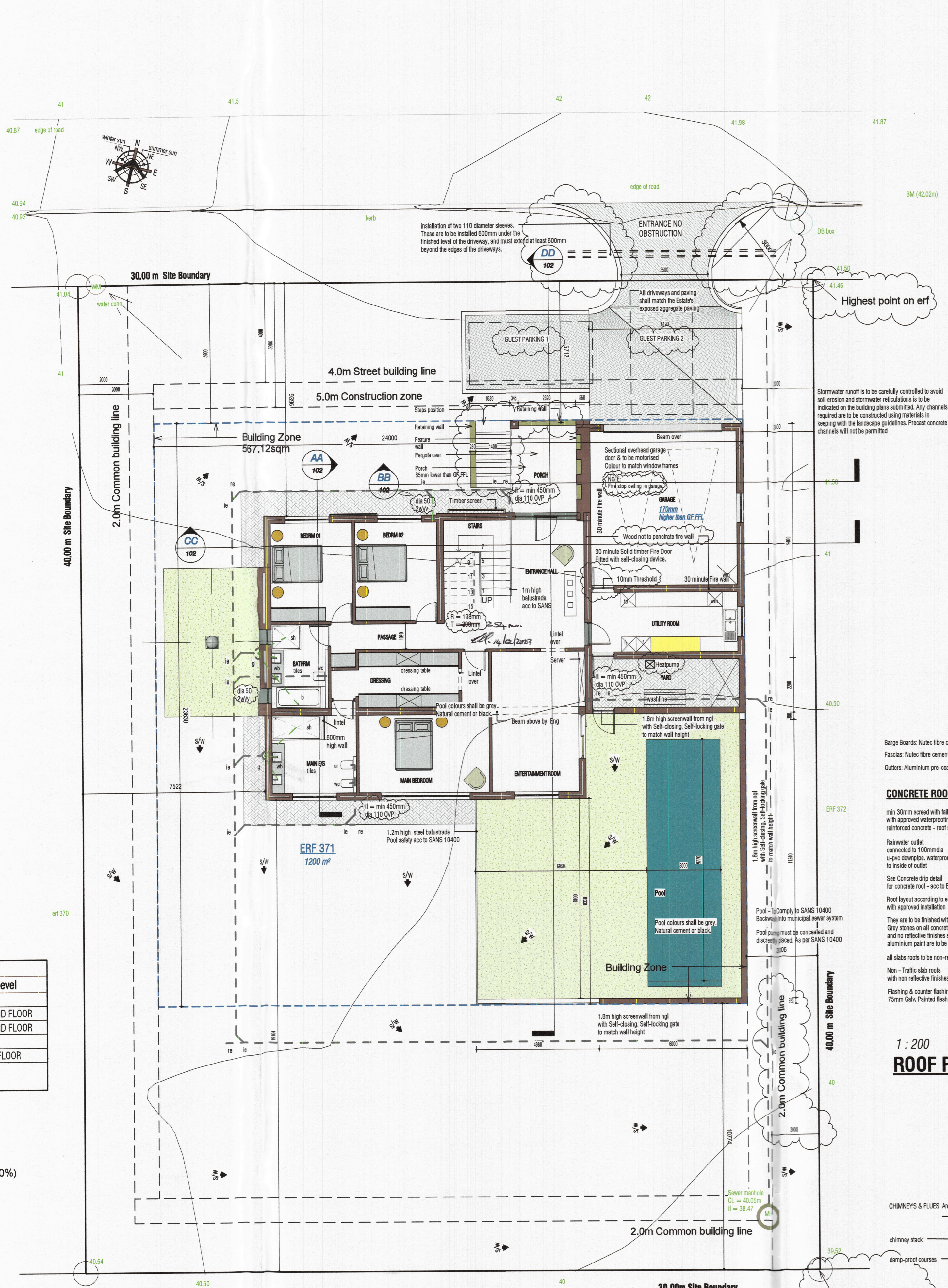


APPROVED
for
Local Authority Submission
Signed: _____ Date: 31/01/2022
Kruger Theron Architects PrArch
Romansbaai Estate Architect



Roofing (2 - 12 deg) - Skillion roof with ceiling in between or below rafters

Option 1		
Outside air film	0.03	0.00
Metal cladding	0.16	0.11
30-100mm Roof air space	0.16	0.11
Internal Air film	0.11	0.11
Reflective membrane	0.06	0.75
10mm Gypsum ceiling	0.06	2.57
100mm Fibre glass blanket	0.06	2.57
TOTAL R-Value	0.87	8.7
Option 2		
Outside air film	0.03	0.00
Metal cladding	0.16	0.11
30-100mm Roof air	0.16	0.11
Internal Air film	0.11	0.11
Reflective membrane	0.06	0.75
75mm Rigid Polystyrene	2.57	2.57
TOTAL R-Value	0.87	8.7

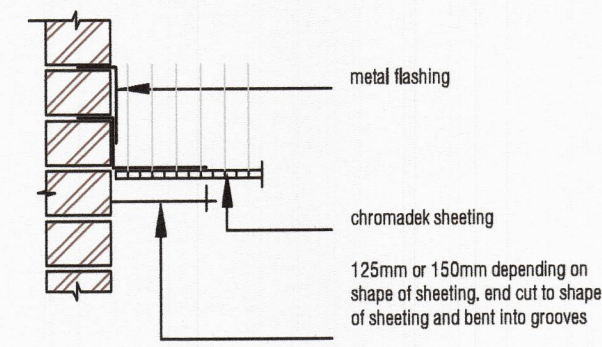
Roofing (22 - 45 deg) - Cathedral roof with horizontal ceiling

Option 1		
Outside air film	0.03	0.00
Metal cladding	0.16	0.11
Roof air space	0.16	0.11
Internal Air film	0.11	0.11
Reflective membrane	0.06	0.75
15mm Fibre glass blanket	0.06	2.57
TOTAL R-Value	0.87	8.7
Option 2		
Outside air film	0.03	0.00
Metal cladding	0.16	0.11
Roof air space	0.16	0.11
Internal Air film	0.11	0.11
Reflective foil	0.06	0.75
10mm Gypsum ceiling	0.06	2.57
100mm fibreglass blanket	2.57	2.57
TOTAL R-Value	0.87	8.7

Area Schedule (Gross Building)

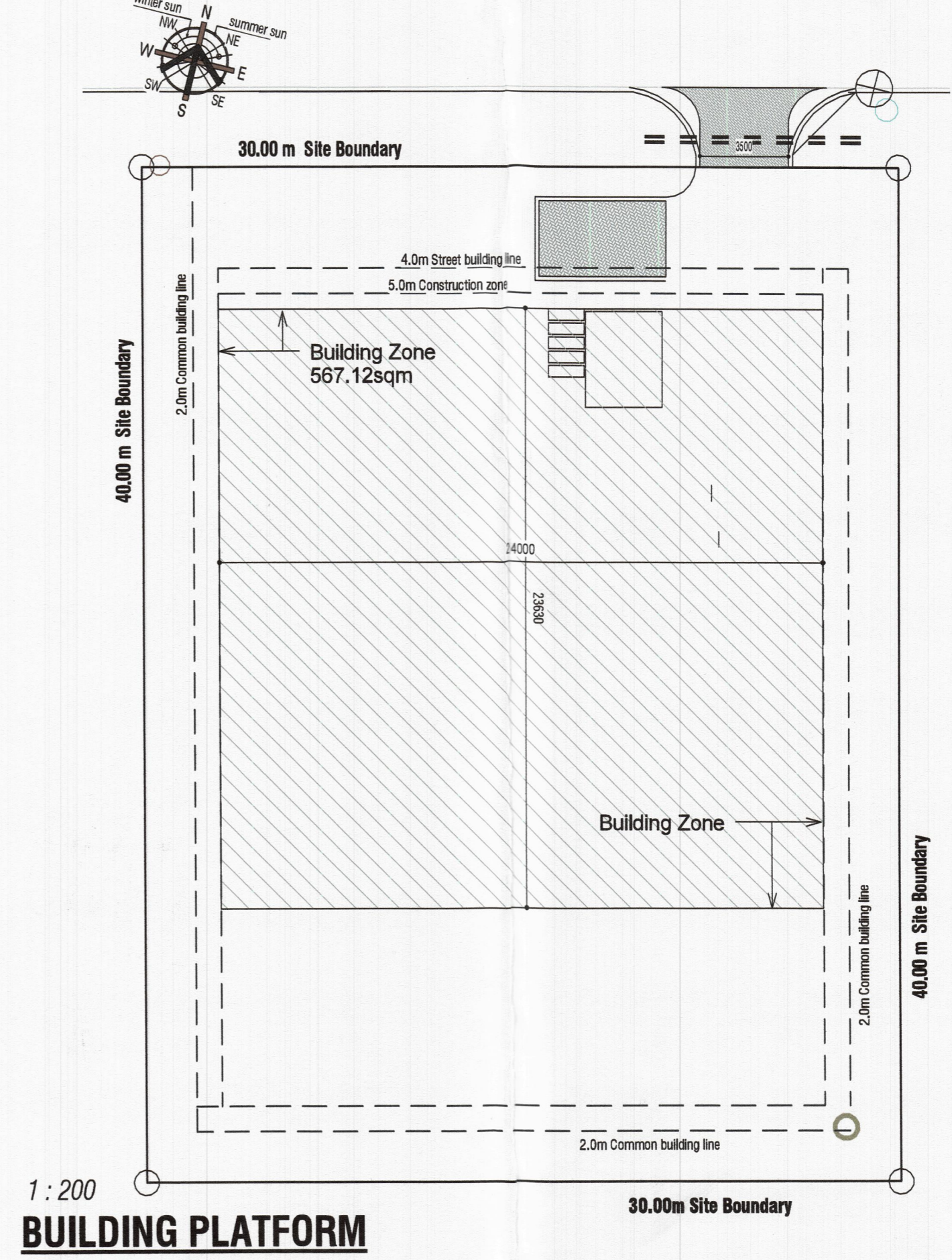
Name	Area	Level
GROUND FLOOR	152.86 m ²	0 GROUND FLOOR
GARAGE & UTILITY ROOM	61.36 m ²	0 GROUND FLOOR
2	214.22 m ²	
FIRST FLOOR	87.77 m ²	1 FIRST FLOOR
1	87.77 m ²	
Grand total: 3	301.98 m ²	

SITE AREA = 1200sqm
COVERAGE = 17.85% (max 50%)
GF/FF RATIO = 39.55% (max 50%)
FLATROOF PERCENTAGE = 19.78% (Max 20%)

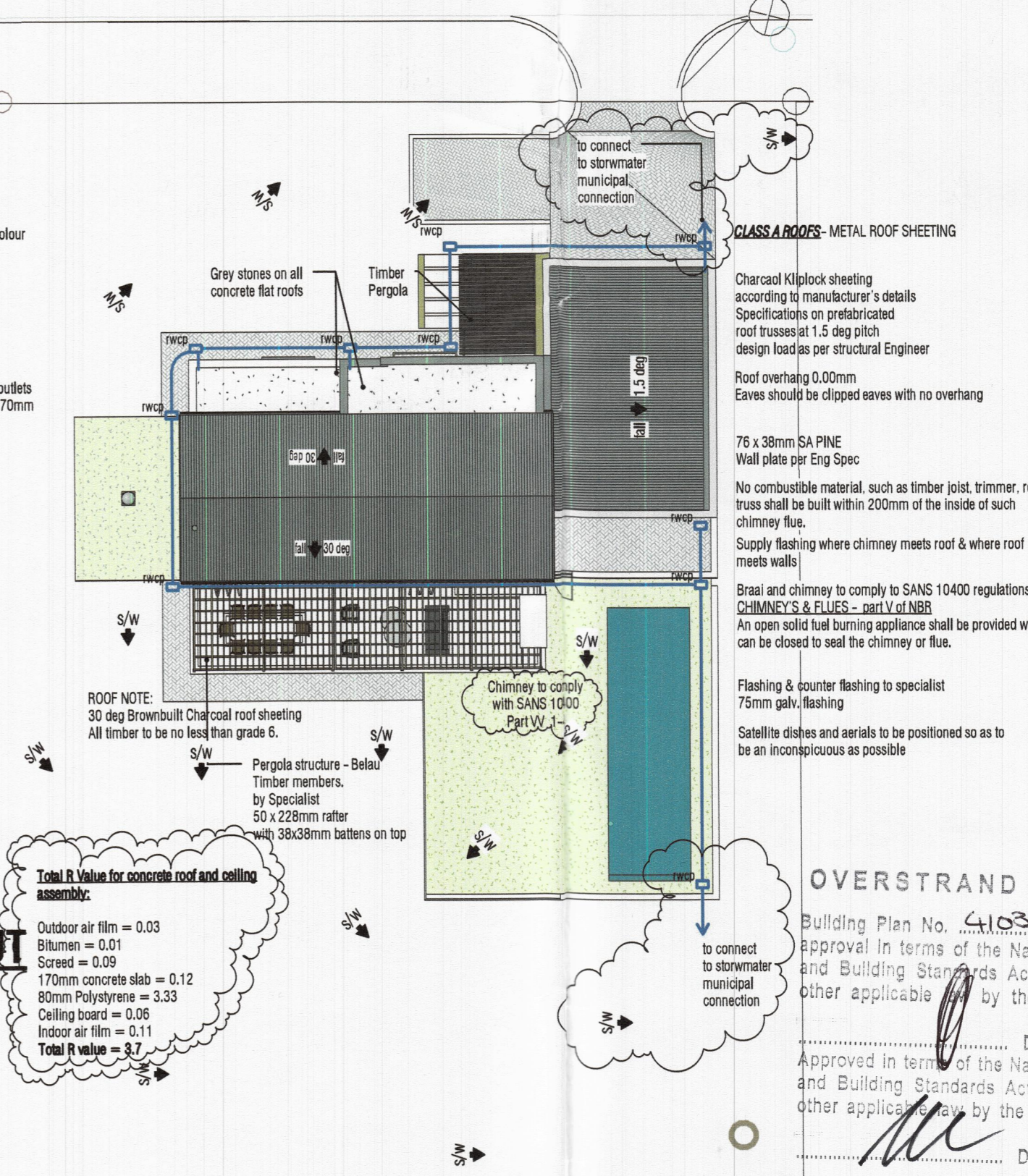


FLASHING ON SIDE OF CHIMNEY chromadek sheeting

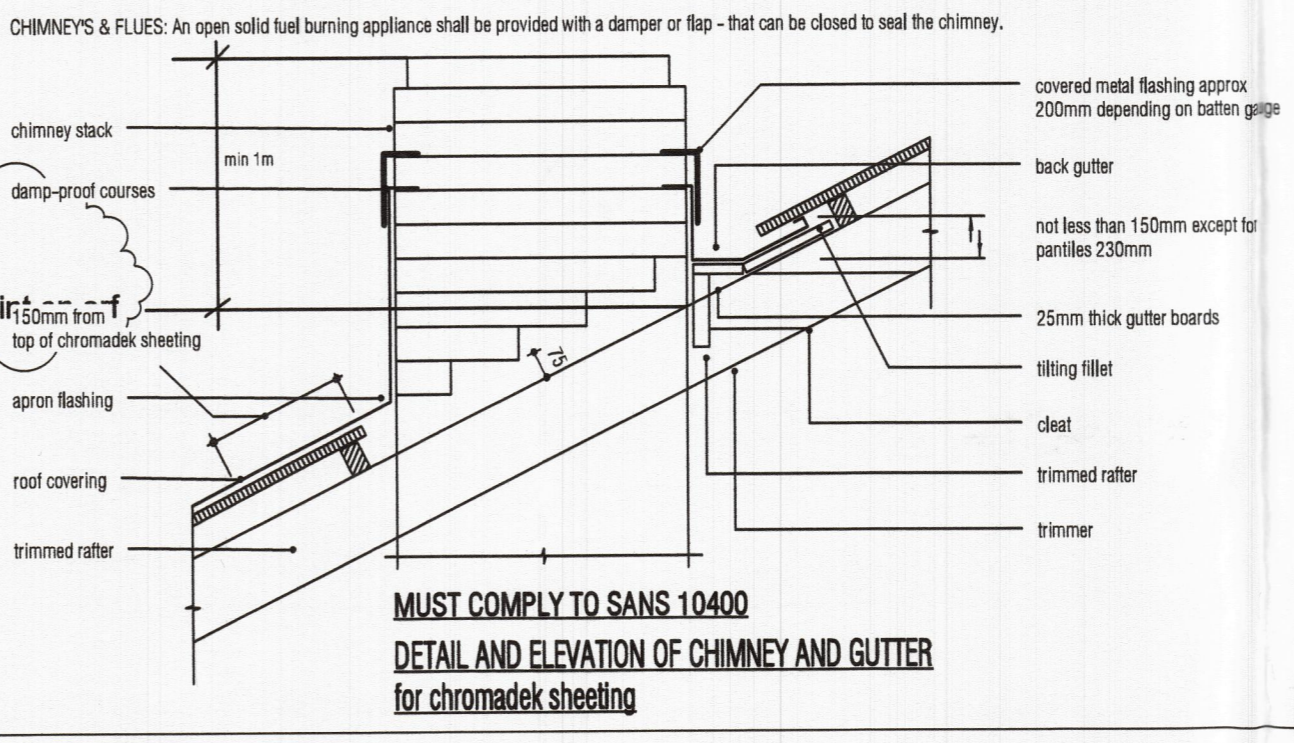
1 : 100
SITE PLAN WITH GROUND FLOOR LAYOUT



1 : 200
BUILDING PLATFORM



1 : 200
ROOF PLAN LAYOUT



MUST COMPLY TO SANS 10400
DETAIL AND ELEVATION OF CHIMNEY AND GUTTER for chromadek sheeting

TYPICAL VALLEY GUTTER chromadek sheeting

THIS DRAWING REMAINS THE PROPERTY OF RICHARD PERFECT ARCHITECTS - dh architecture. NO SCALING OFF THIS DRAWING. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO ANY BUILDING WORK COMMENCING. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

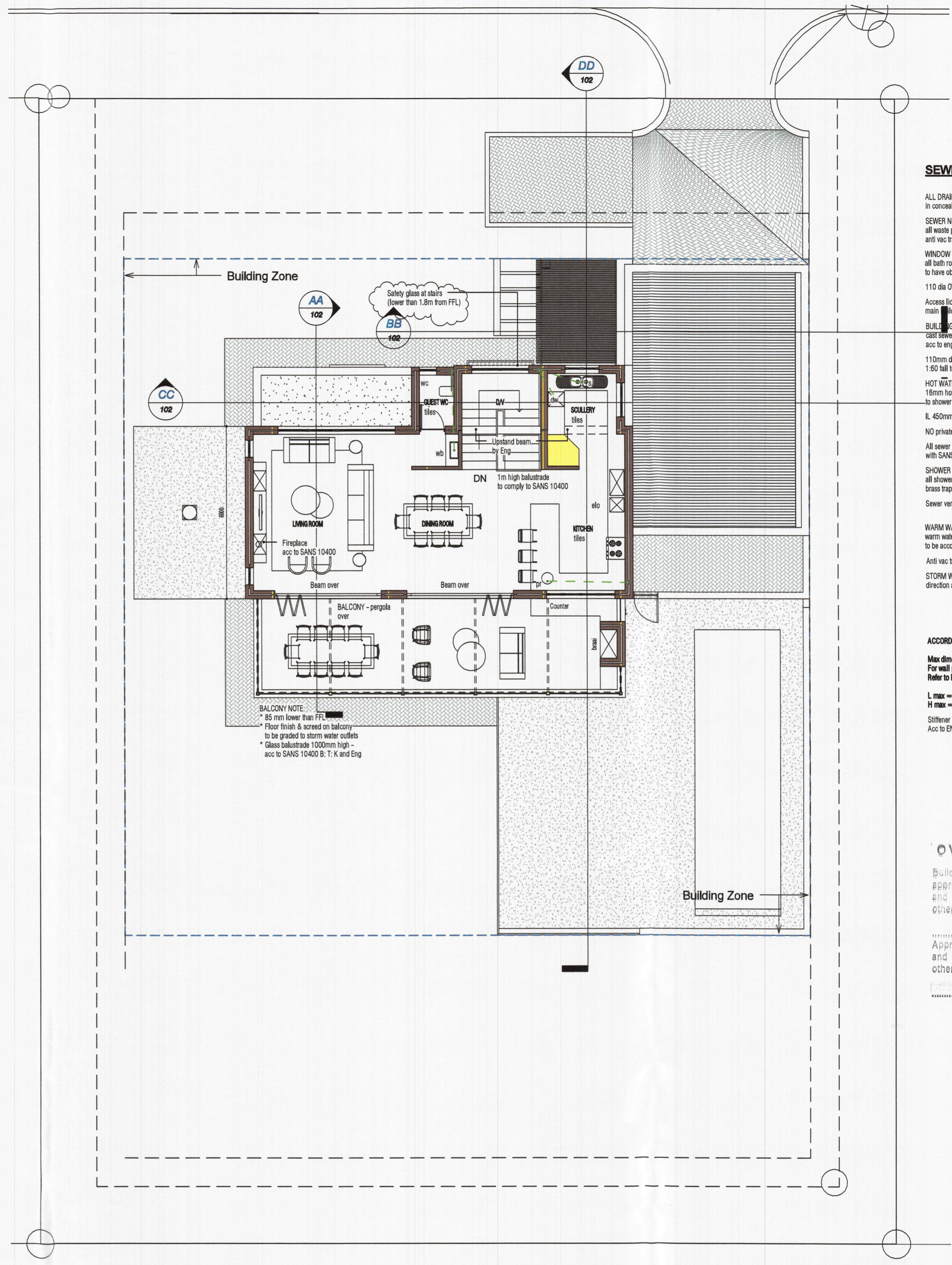
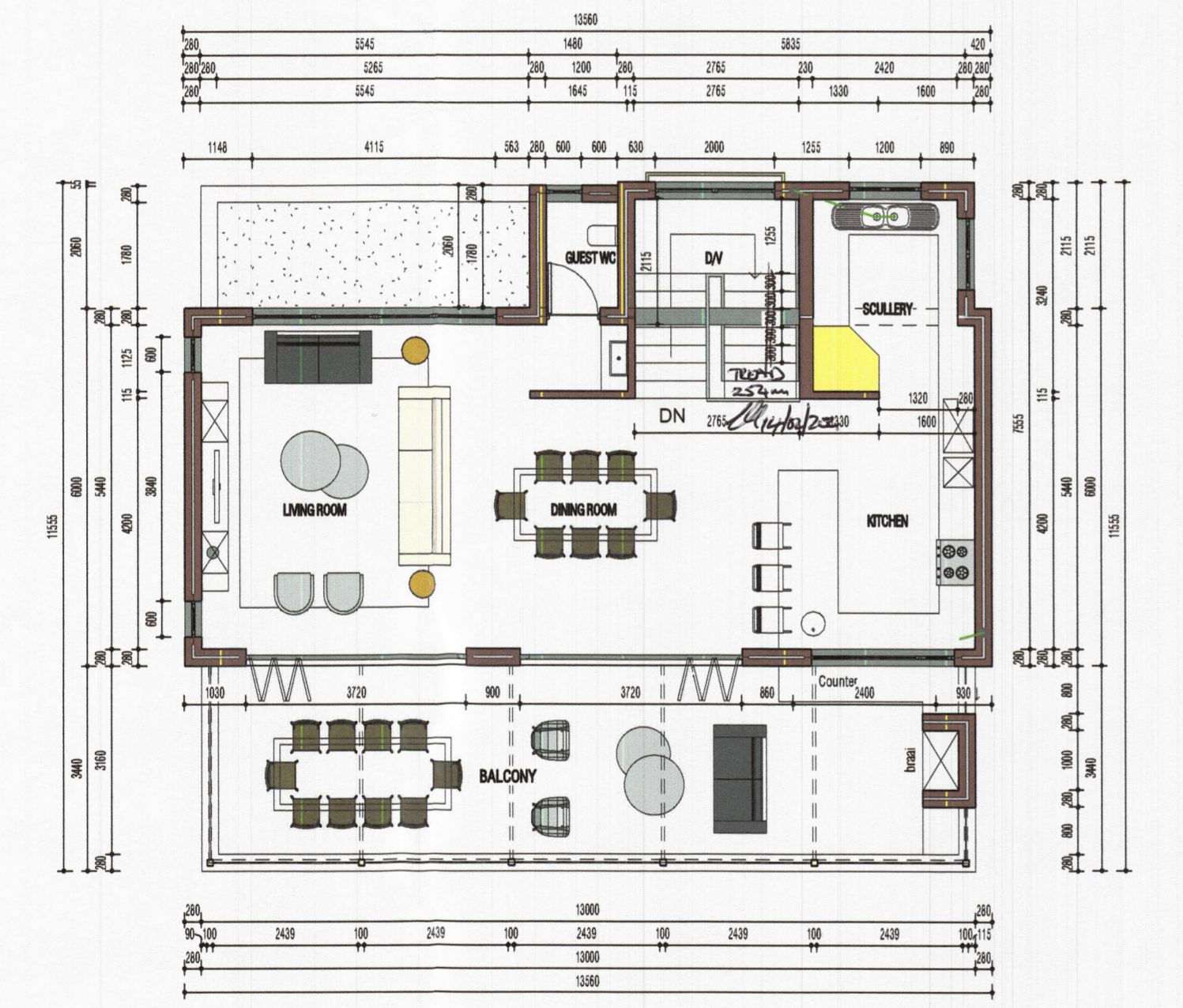
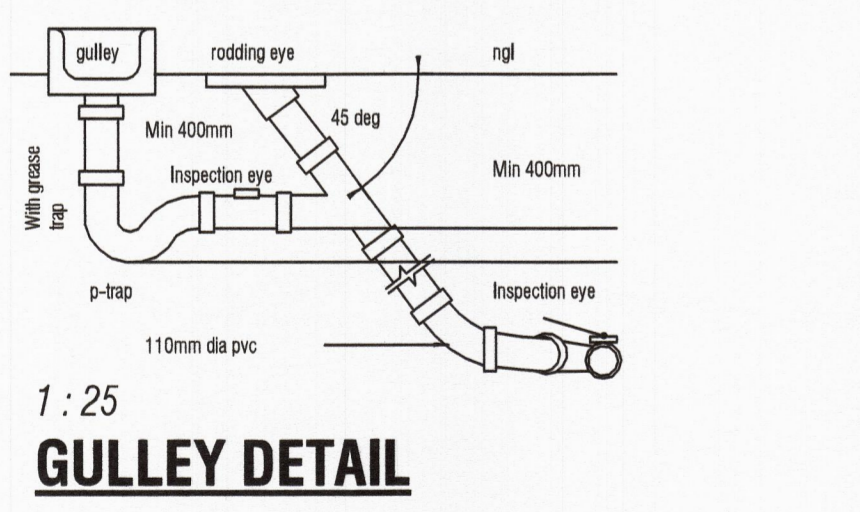
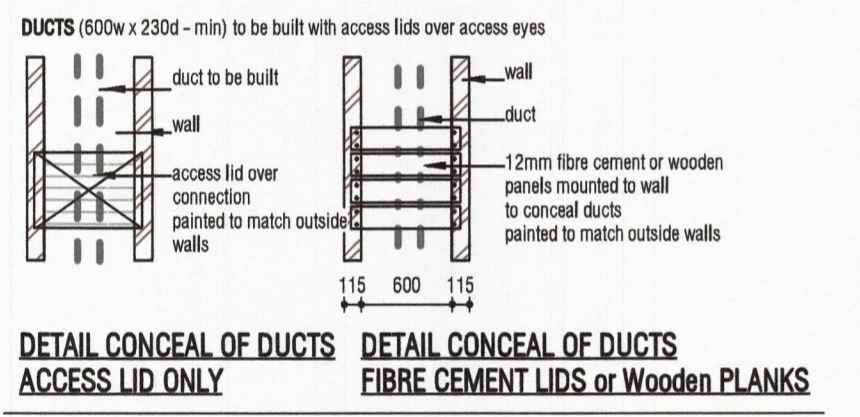
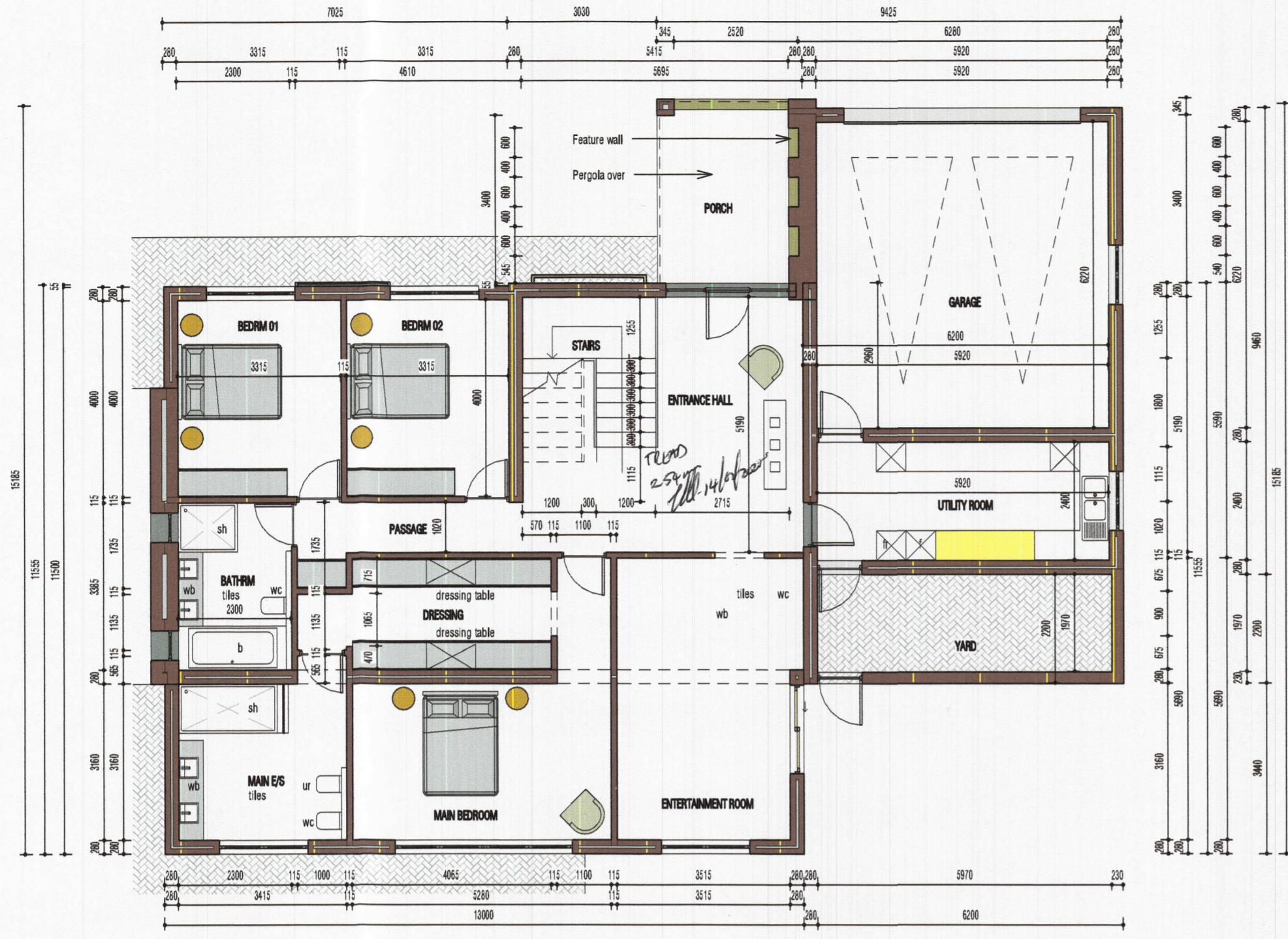
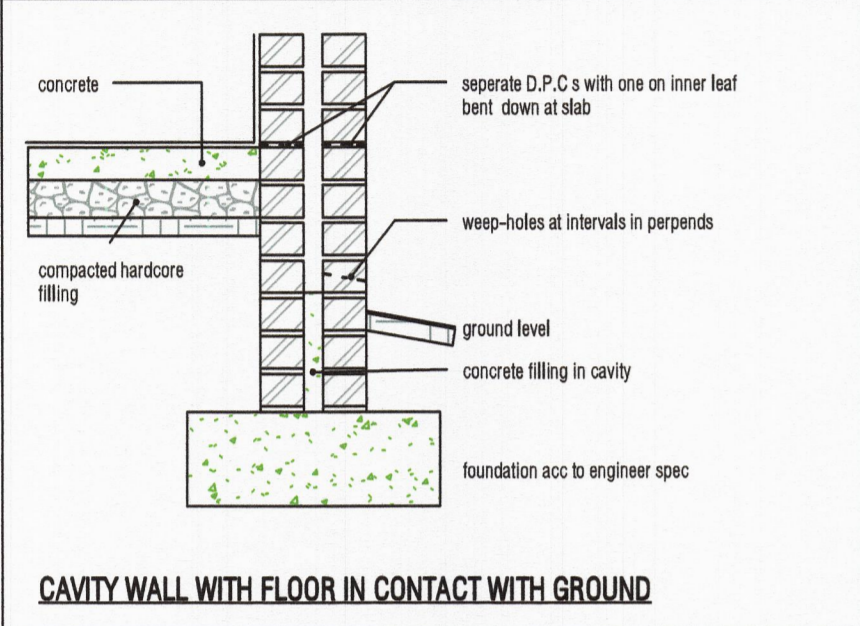
GENERAL SPECIFICATIONS:
STRUCTURE: ALL WALLS ON FOUNDATIONS AND R.C. STRUCTURE TO ENG. SPECS. AND APPROVAL. OTHER R. CONC. I.E. BEAMS, FLOORS, WALL FOUNDATIONS ETC. TO ENG. SPECS.
FOOTINGS: ALL FOOTINGS AS PER ENG. SPECS.
FLOORS: FINISH AS SPECIFIED ON PLAN, ON 30mm SCREED, ON 100mm MASS CONC. ON 375 MICRON DPM, ON 50mm SANDBLINDING, ON WELL COMPACTED FILL IN LAYERS NOT EXCEEDING 150mm. FILL TO BE COMPACTED AS PER ENG.
WALLS: 280mm CAVITY WALLS TO HAVE 4 WALL TIES PER SOM
PLASTER: WALLS TO BE PLASTERED 15mm INTERNALLY AND 20MM EXTERNALLY UNLESS OTHERWISE SPECIFIED. PAINT TO LATER SPECS.
ROOF: 7° PITCH
CHROMADEK SHEETS ON 38x38mm BATTENS @ 380mm C/C ON EXPOSED TIMBER TRUSSES 760mm C/C TO ENG DETAILS.
TRUSSES TO BE ANCHORED BY MEANS OF 30mmx1.6mm GALV. STEEL STRAPS OR 4mm WIRES EMBEDDED INTO THE WALL TO A DEPTH OF 600mm
PARAPETS AND BALUSTRADE WALLS: TOPS TO BE PLASTERED TO SLOPE TOWARDS BUILDING. TOPS OF PARAPETS TO BE TREATED WITH GEO-FLEX LIQUID OR SIMILAR WATERPROOFING.
WATERPROOFING TO CONC. ROOFS: CONC. ROOF TO HAVE SCREED TO FALL TO FULLBONE OR GARGOYLE. SCREED TO BE PRIMED FOR TORCH ON WATERPROOFING BY SPECIALIST. TORCH ON WATERPROOFING TO HAVE 150mm END LAPS. PARAPET WALLS TO HAVE 45° FILLET PIECE. WATERPROOFING TO BE DRESSED INTO FULLBORES AS PER SUPPLIERS SPECS. END OF TORCH ON WATERPROOFING TO BE SEALED WITH GEO-FLEX CLOTH AND LIQUID.
DP: ALL CAVITY WALLS TO HAVE STEPPED DPC150MM MINIMUM ABOVE NGL WITH WEEPHOLES. ALL DOORS AND WINDOWS TO HAVE STEPPED DPC WITH WEEPHOLES ABOVE AND VERTICAL DPC BUILT INTO WALLS. ALL DPCs ARE TO BE SABS APPROVED.
STORMWATER: ALL STORMWATER TO BE LEAD OFF PROPERTY TO NEAREST CHANNEL OR MUNICIPAL STORMWATER DRAIN.
POOL: POOL TO BACKWASH INTO SEWER SYSTEM
GLASS: ALL GLAZING TO COMPLY WITH REQUIREMENTS OF SANS 10400 - ACCESS DOORS AND SIDELIGHTS TO HAVE SAFETY GLASS. WINDOWS LOWER THAN 500mm FROM FLOOR, WINDOWS LOWER THAN 1800mm ABOVE PITCH LINE OF STAIRS AND SHOP FRONTS TO BE SAFETY GLASS.
WINDOWS AND DOORS: ALL SECTIONS AND POWDERCOATING FOR WINDOWS AS PER AAMSA SPECS. FOR COASTAL CONDITIONS. POWDER COAT COLOUR TO LATER SPECS.
BALUSTRADES AND HANDRAILS: ALL HANDRAILS AND BALUSTRADES TO BE 1000mm FROM FFL. BALUSTRADES TO HAVE NO OPENINGS GREATER THAN 100mm. ALL BALUSTRADES TO BE ACCORDING TO SANS 10400.
VENTILATION: ALL HABITABLE ROOMS TO HAVE 10% NATURAL LIGHT AND 5% VENTILATION AS PER NBR. EXTRACTOR FANS TO BE INSTALLED IN TOILETS CONNECTED TO LIGHT SWITCHES. DOORS TO BE UNDERCUT BY 20mm. MINIMUM DUTY 25L PER SECOND PER TOILET AGAINST SYSTEM PERSISTENCE. MAXIMUM NOISE AT BOUNDARY TO BE 45 DBA. DUCTS TO BE 110MM GMS DUCTING. MECHANICAL VENTILATION AS PER ENG. SPECS.
STAIRCASES: AS PER PLAN
CONC. STAIRCASES TO ENG. SPECS
CEILING: CEILING BY SPECIALIST. ALL CEILINGS ARE TO BE APPROPRIATE THICK GYPSUM BOARD, SKIMMED AND PAINTED ON 38x38 BRANDING AT 400mm C/Cs IN ONE DIRECTION ONLY. BULKHEADS AND CORNICES TO LATER SPECS.

CONCRETE ROOF DETAILS:
Barge Boards: Nutec fibre cement finish - Colour: to match roof colour
Fascias: Nutec fibre cement finish - Colour: to match roof colour
Gutters: Aluminium pre-coated - Colour: To match roof colour
CONCRETE ROOF DETAILS:
min 30mm screed with fall (min 170mm) to 100mm dia full-flow outlets with approved waterproofing membrane applied by specialist, on 170mm reinforced concrete - roof slab to engineers detail.
Rainwater outlet connected to 100mm dia up-pipe downpipe, waterproofing to inside of outlet
See Concrete strip detail for concrete roof - acc to Eng spec & detail.
Roof layout according to eng specifications with approved installation
They are to be finished with Grey stones on all concrete flat roofs and no reflective finishes such as aluminium paint are to be visible.
all slabs roofs to be non-reflective
Non - Traffic slab roofs with non reflective finishes
Flashing & counter flashing to specialist
75mm Galv. Painted flashing (match wall of colour)

OVERSTRAND MUNICIPALITY
Building Plan No. 41036
Is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable laws by the Building Control Officer.
Date: 16 FEB 2022
Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable laws by the Manager: Building Control
Date: 16 FEB 2022

RICHARD PERFECT ARCHITECTS - dh architecture
The Palm Lifestyle Centre 145 St. Lowry Rd Cape Town 8001.
t +27 21 462 1333 f +27 21 462 1343
Call | 084 545 1514
Project for: **HOUSE SANI, ERF 371 ROMANSBAAI, BIRKENHEAD**
Date: 2022-01-27 10:52:45 AM
Scale: As indicated
Drawn: bernice
Element: CS04
Dwg. No.: 100
COUNCIL SUBMISSION

APPROVED
for
Local Authority Submission
Signed: _____ Date: 31/01/2022
Kruger Theron Architects PrArch
Romansbaai Estate Architect



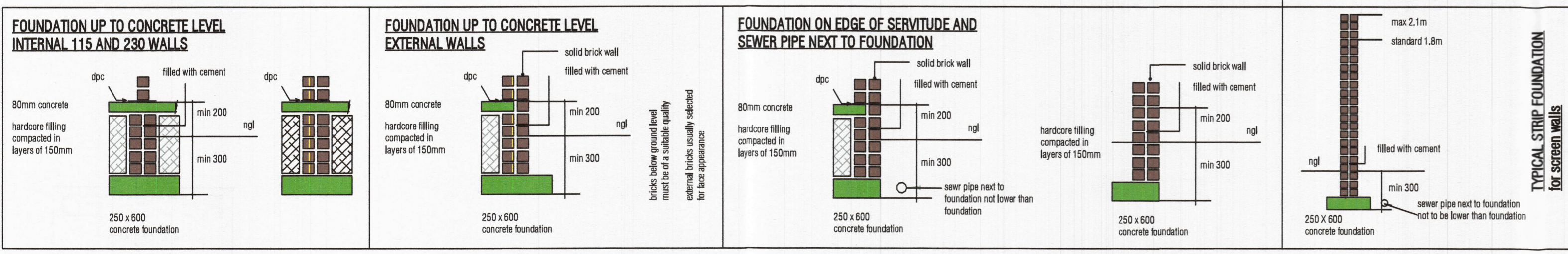
SEWER NOTES:

ALL DRAINAGE TO BE SCREENED - in concealed ducts with access lids
SEWER NOTE: all waste pipes to have anti-vec traps
WINDOW NOTE: all bath room windows to have obscure glass
110 dia OVP
Access lids - painted same colour as main tiling to blend in
BUILDING OVER SEWERAGE PIPES - 600mm sewer pipe - reinforced concrete acc to eng spec
110mm dia pvc sewer pipe at 150mm fall to man. connection
HOT WATER NOTE: 18mm hot water pipes to shower & bath
1. 450mm min
NO private sewer in SERVITUDE
All sewer to comply with SANS 10400
SHOWER NOTE: all showers to have brass traps
Sewer ventilation to protrude to the outside of the building
WARM WATER SUPPLY: warm water supply & installation to be according to SANS 10400
Anti-vec traps on all fittings on ground floor plan
STORM WATER: direction away from gully

ACCORDING TO TABLE 1 IN SANS 10400 PART K (page 16)
Max dimensions for external masonry wall panels supported both sides
For wall panels sides compared to opening sizes
Refer to Table 1 for openings > 15% of wall panels
L max = 5.5m (without stiffener)
H max = 4.4m
Stiffener column @ 5.5m lengths
Acc to ENG spec & design

OVERSTRAND MUNICIPALITY

Building Plan No. ... Is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer.
Date: 16 FEB 2022
Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager: Building Control
Date: 16 FEB 2022

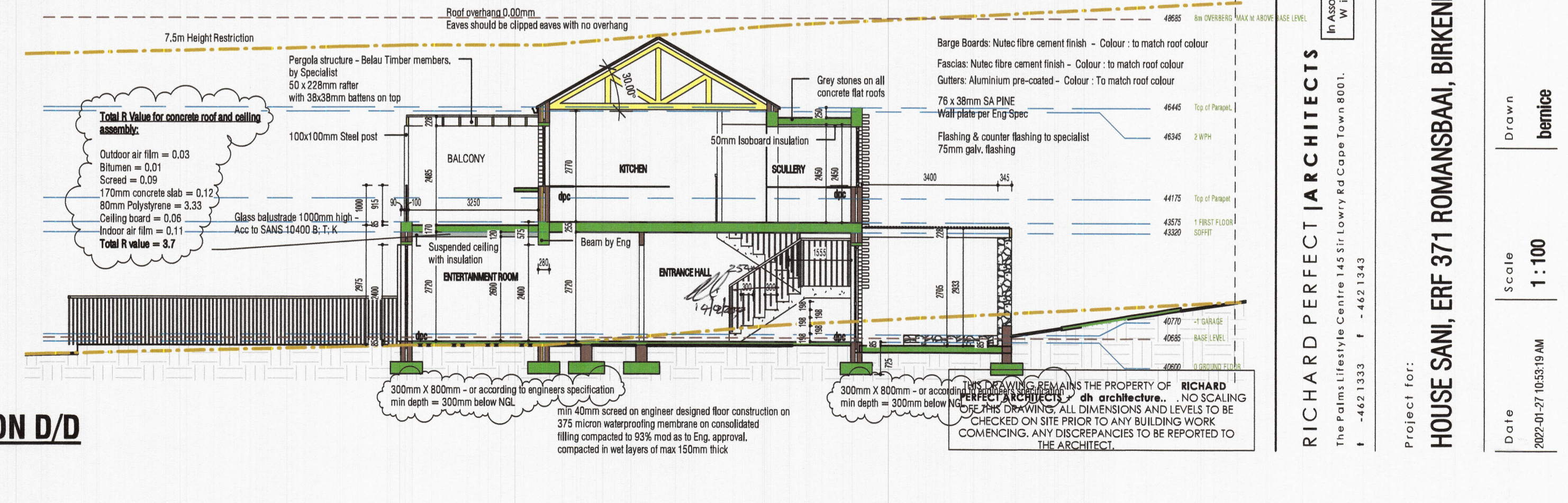
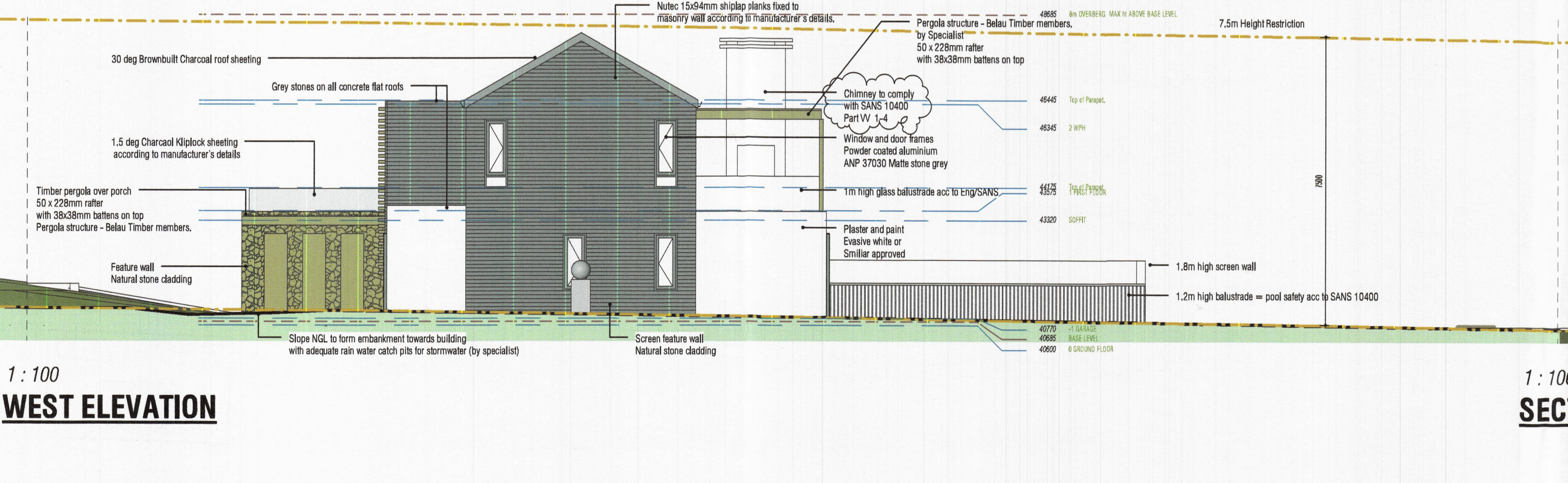
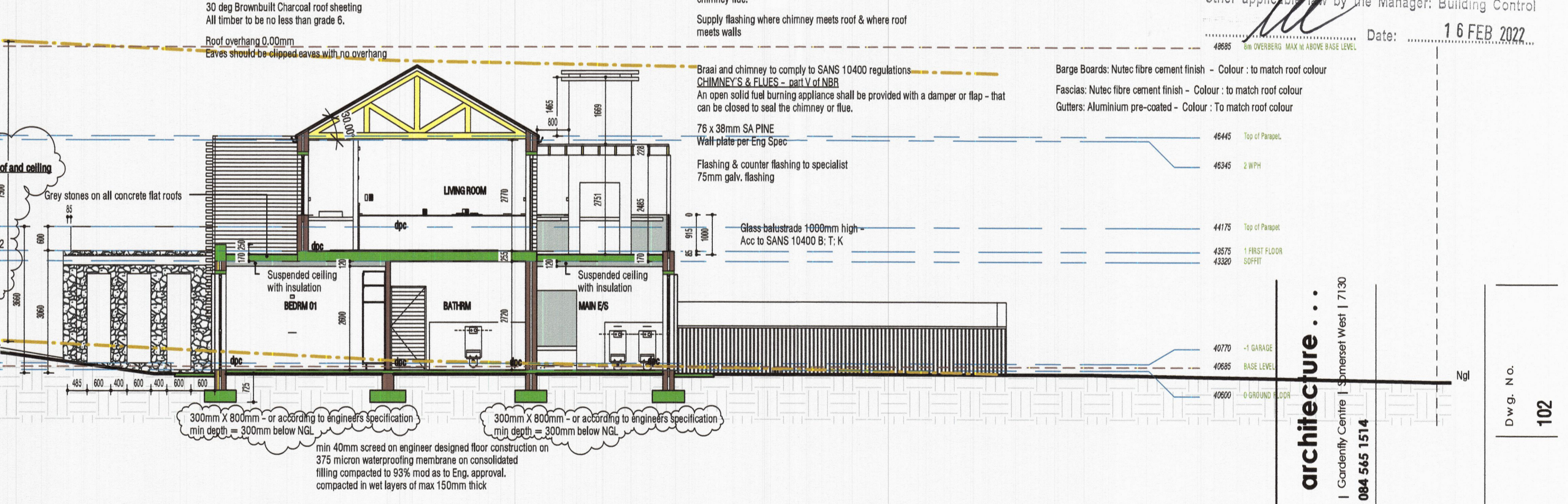
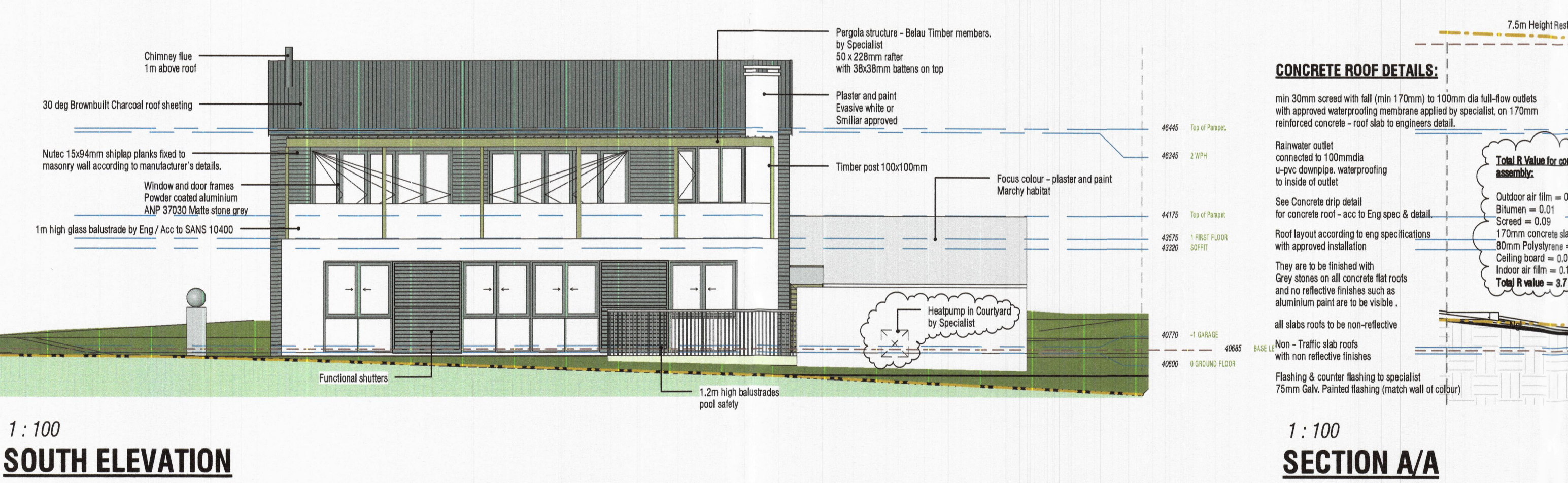
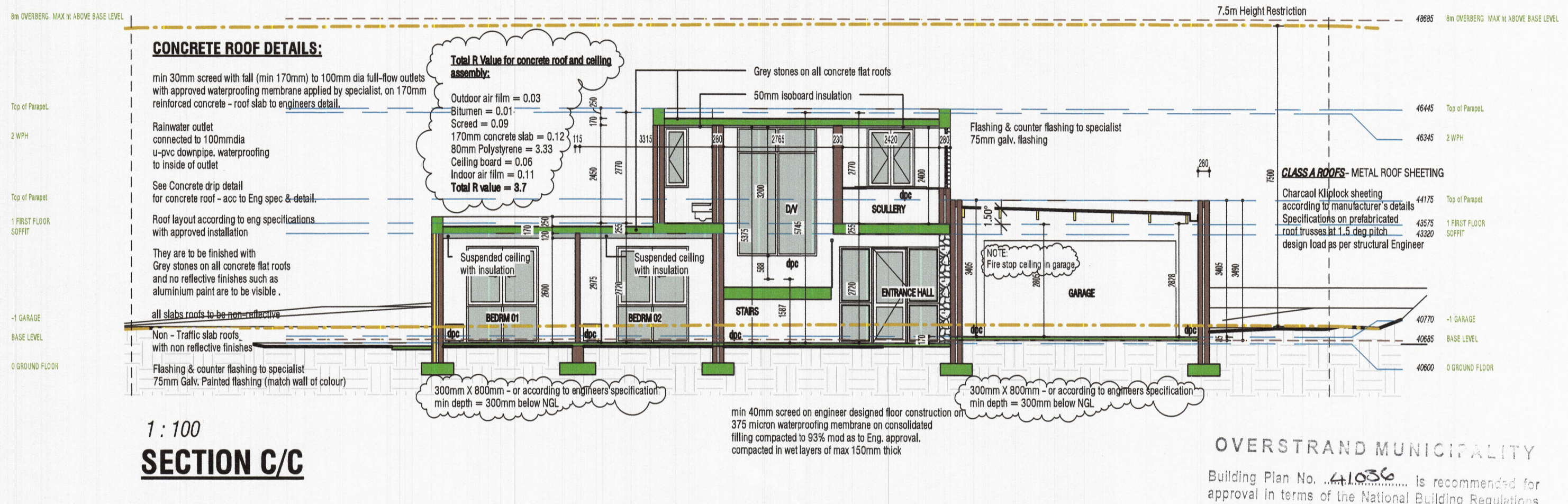
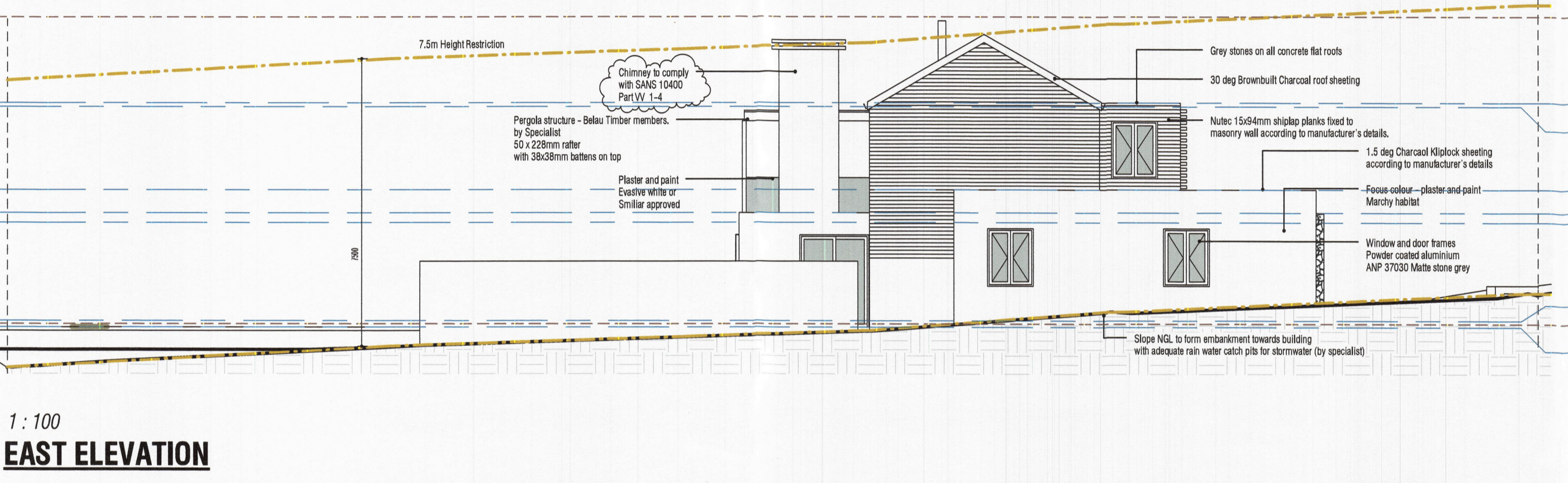
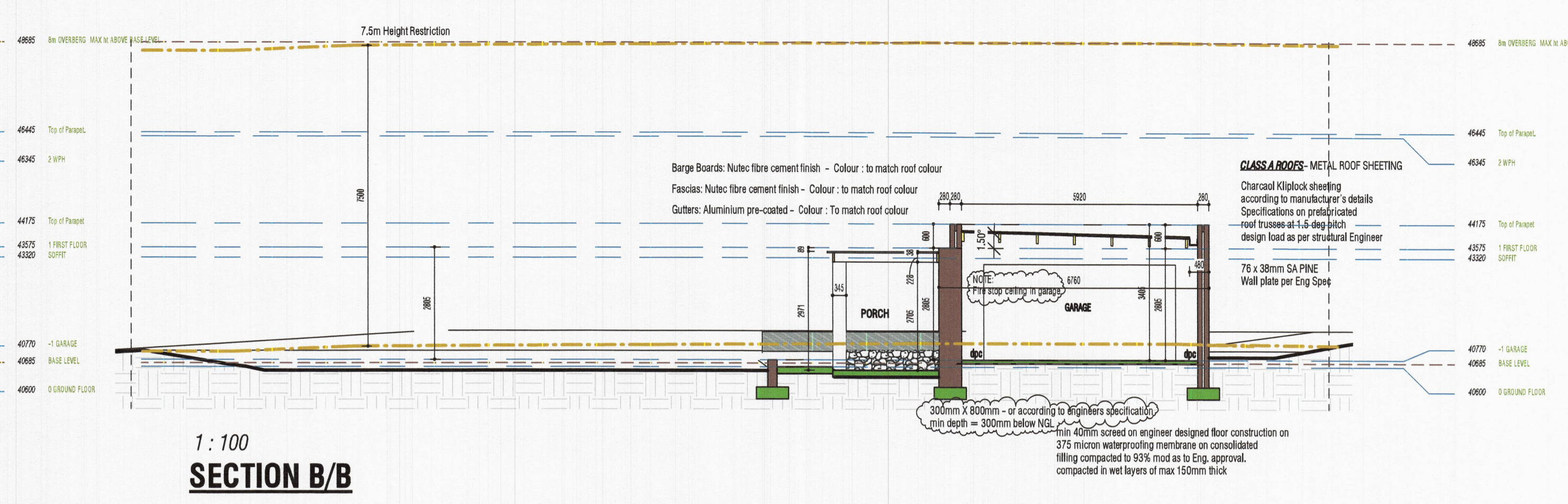


THIS DRAWING REMAINS THE PROPERTY OF RICHARD PERFECT ARCHITECTS + dh architecture. NO SCALING OFF THIS DRAWING. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO ANY BUILDING WORK COMMENCING. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

Richard Perfect Architects
dh architecture
Unit 11 | Condemny Centre | Somerset West | 7130
The Palmes Lifestyle Centre | 145 Sir Lowry Rd Cape Town 8001.
T +442 1333 F +442 1343
Cell | 084 645 1514

Project for: **HOUSE SANI, ERF 371 ROMANSBAAI, BIRKENHEAD**

Date	2022-01-27 10:52:59 AM	Scale	As indicated	Drawn	bernice	Element	CS04	Dwg. No.	101
COUNCIL SUBMISSION									



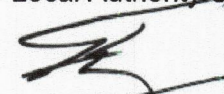
OVERSTRAND MUNICIPALITY
Building Plan No. 41056... is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer.
Date: 16 FEB 2022
Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager: Building Control
Date: 16 FEB 2022

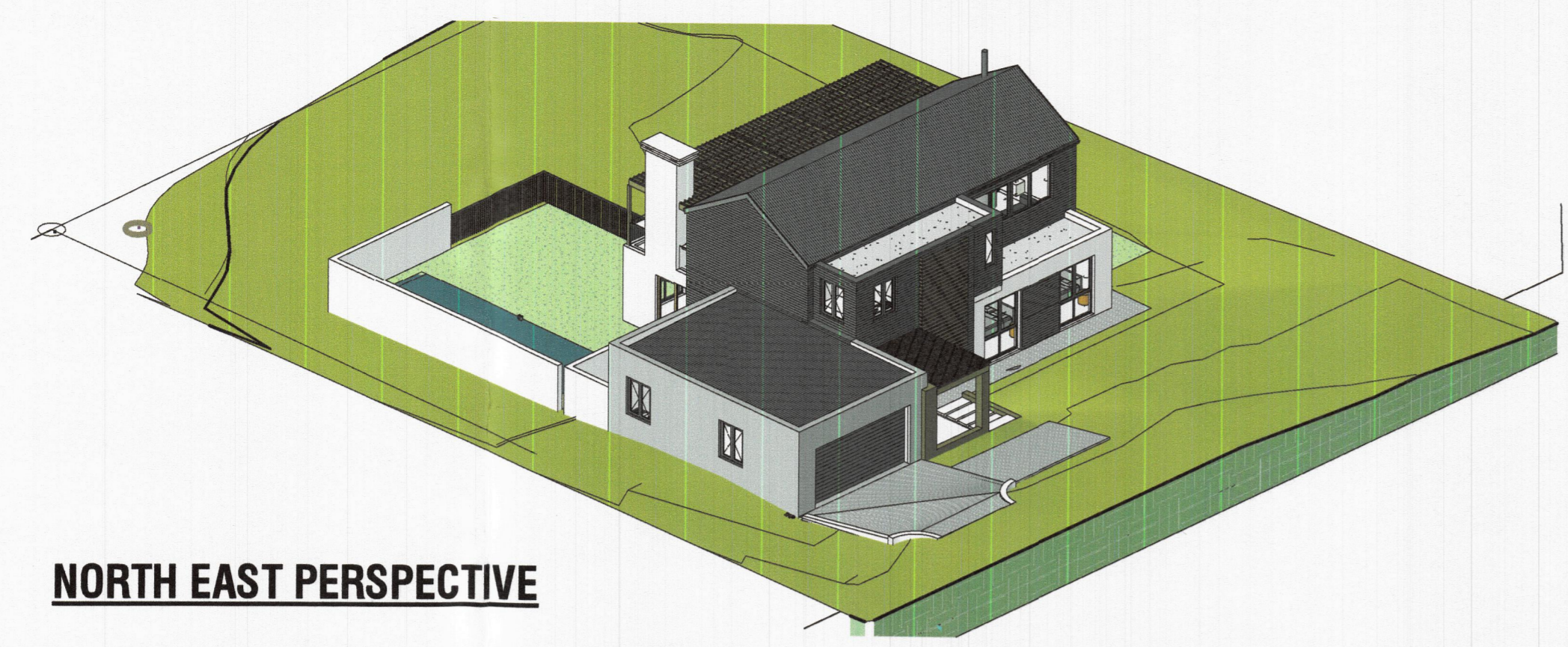
Richard Perfect Architects
In Association With
Unit 11 | Cranberry Centre | Somerset West | 7130
Cell | 064 545 1514

PROJECT FOR:
HOUSE SANI, ERF 371 ROMANSBAAI, BIRKENHEAD

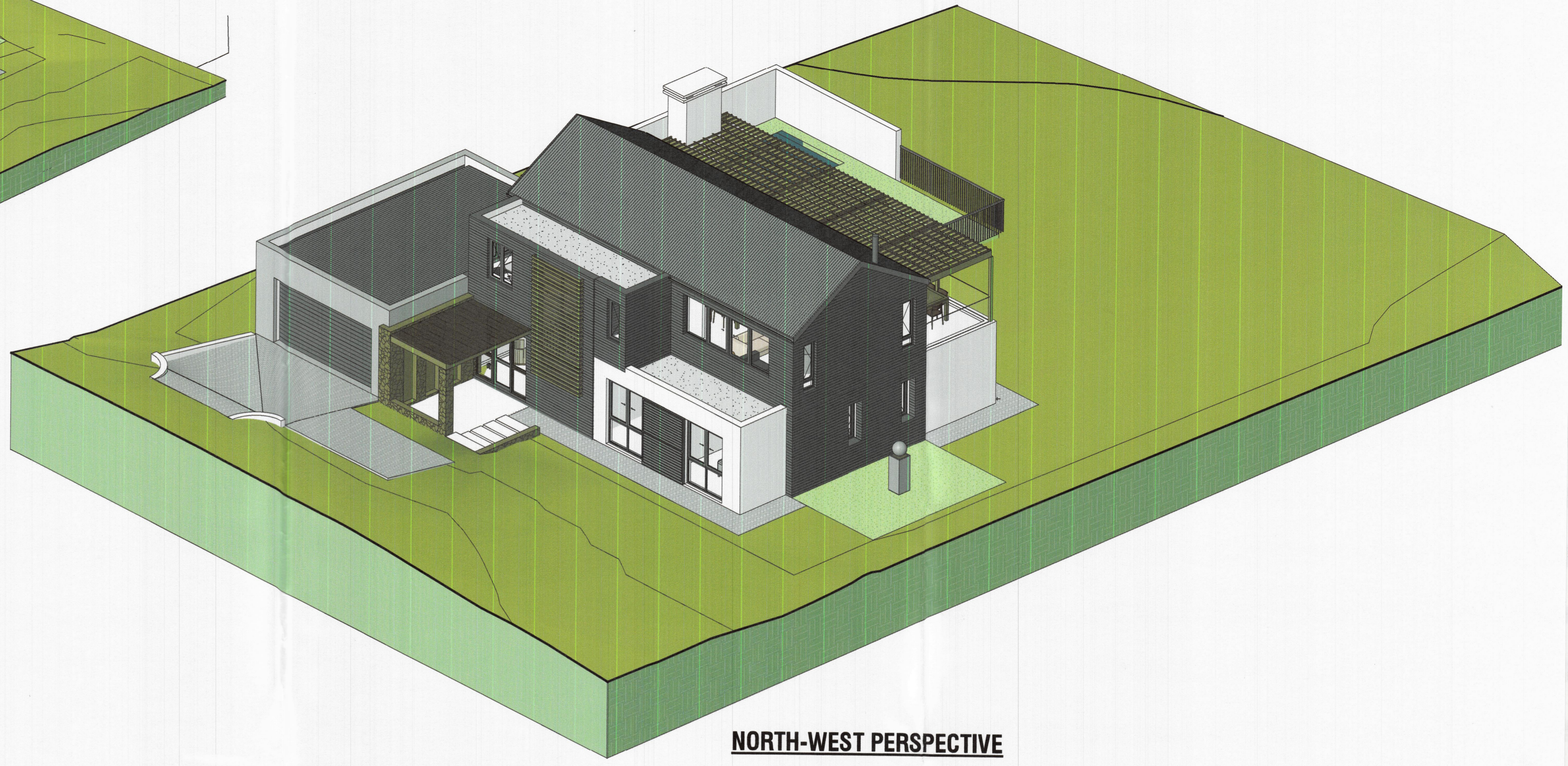
Scale 1 : 100
Date 2022-01-27 10:33:19 AM
Scale 1 : 100
Date 2022-01-27 10:33:19 AM

Drawn bernice
Element CS04
Dwg. No. 102
COUNCIL SUBMISSION

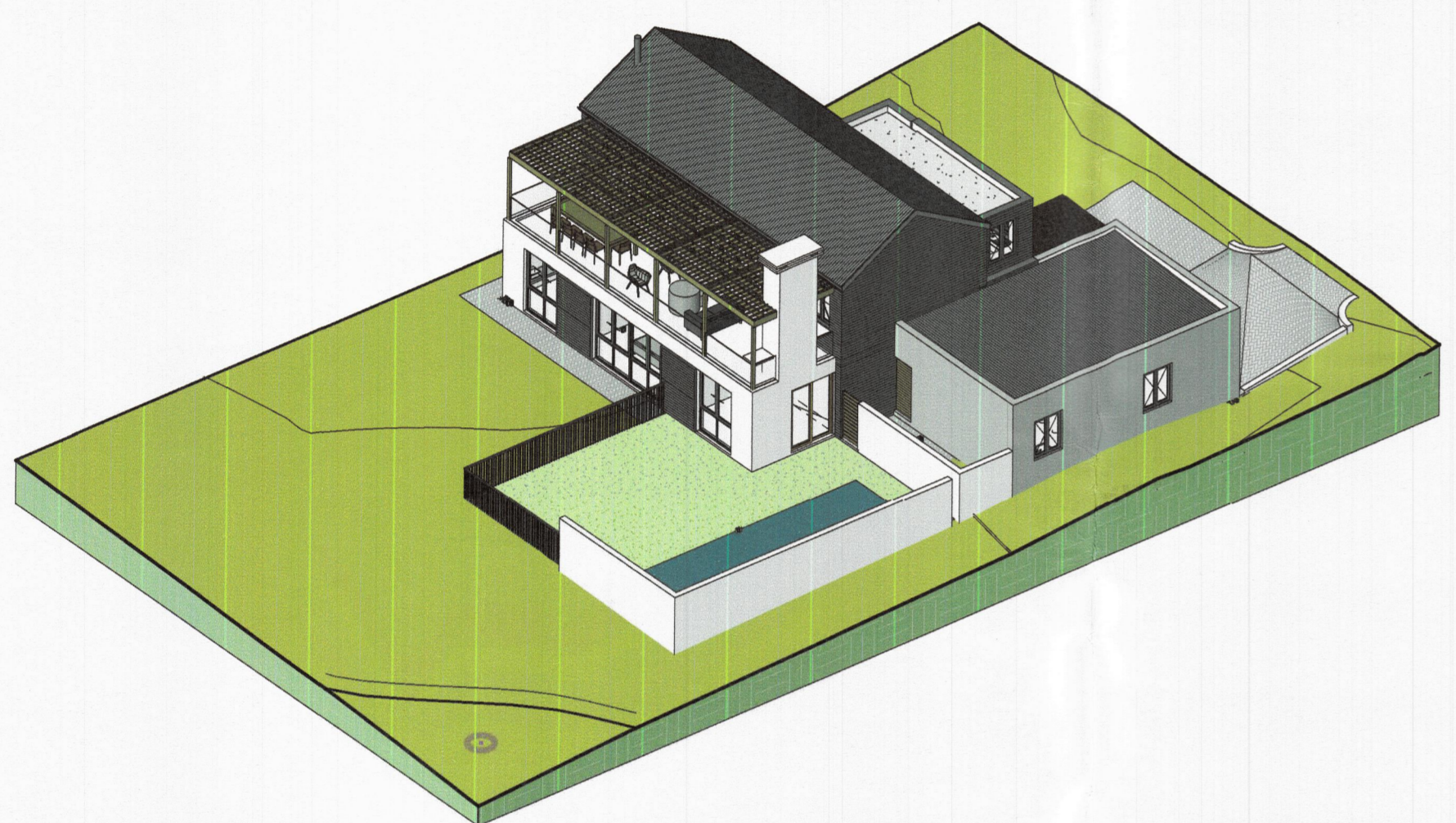
APPROVED
for
Local Authority Submission
Signed:  Date: 31/01/2022
Kruger Theron Architects PrArch
Romansbaai Estate Architect



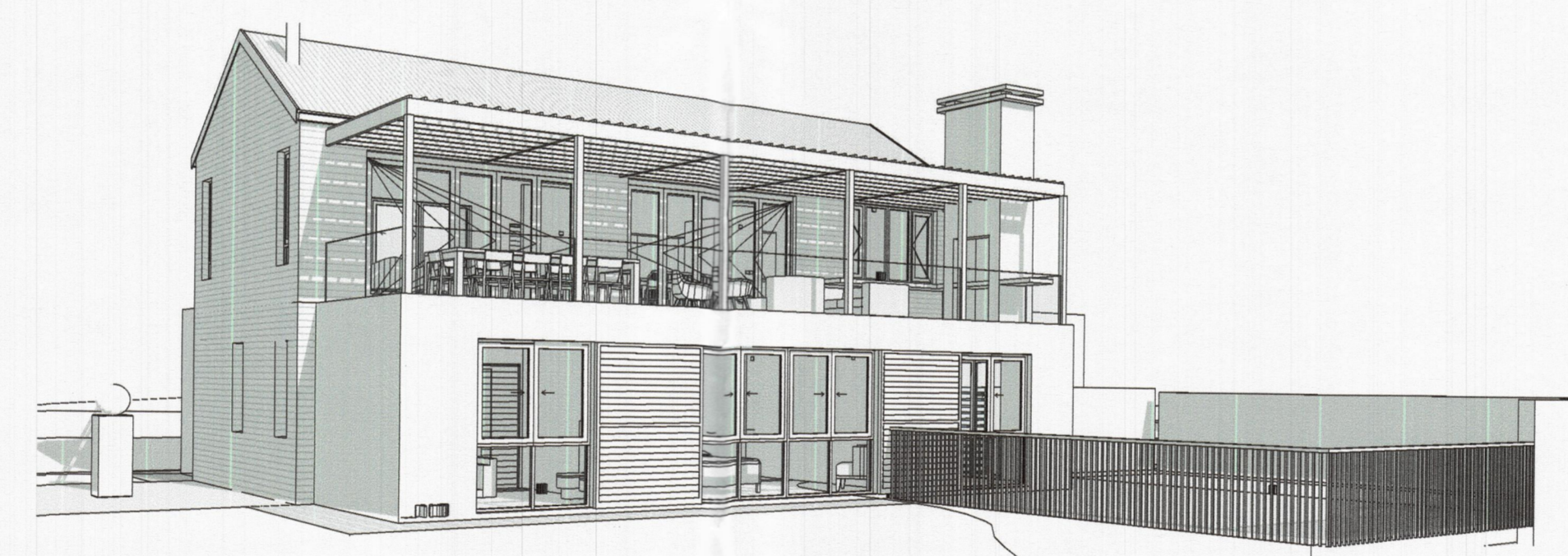
NORTH EAST PERSPECTIVE



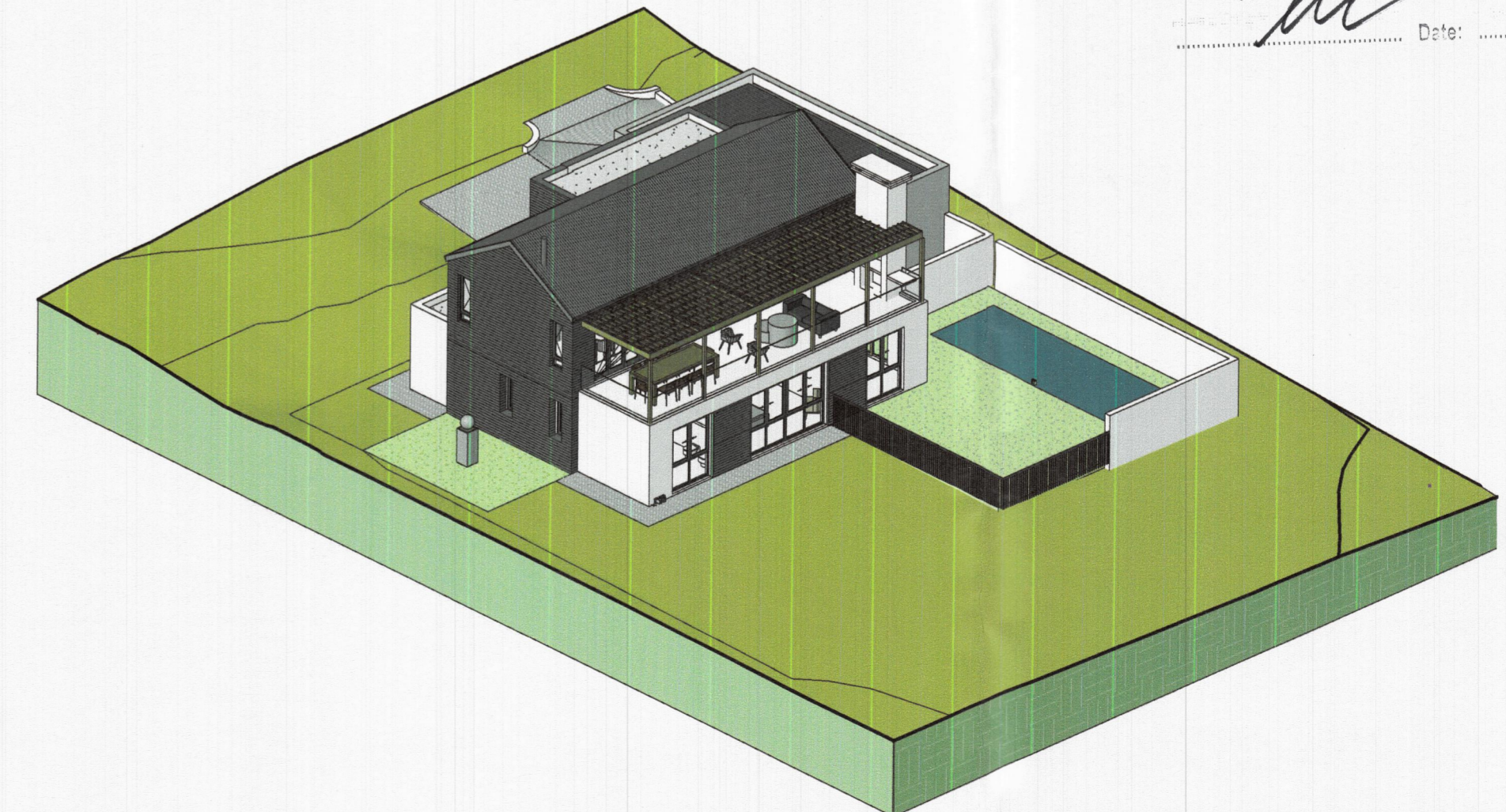
NORTH-WEST PERSPECTIVE



SOUTH EAST PERSPECTIVE



OVERSTRAND MUNICIPALITY
Building Plan No. 41036 is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer.
Date: 16 FEB 2022
Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager, Building Control
Date: 16 FEB 2022



SOUTH WEST PERSPECTIVE

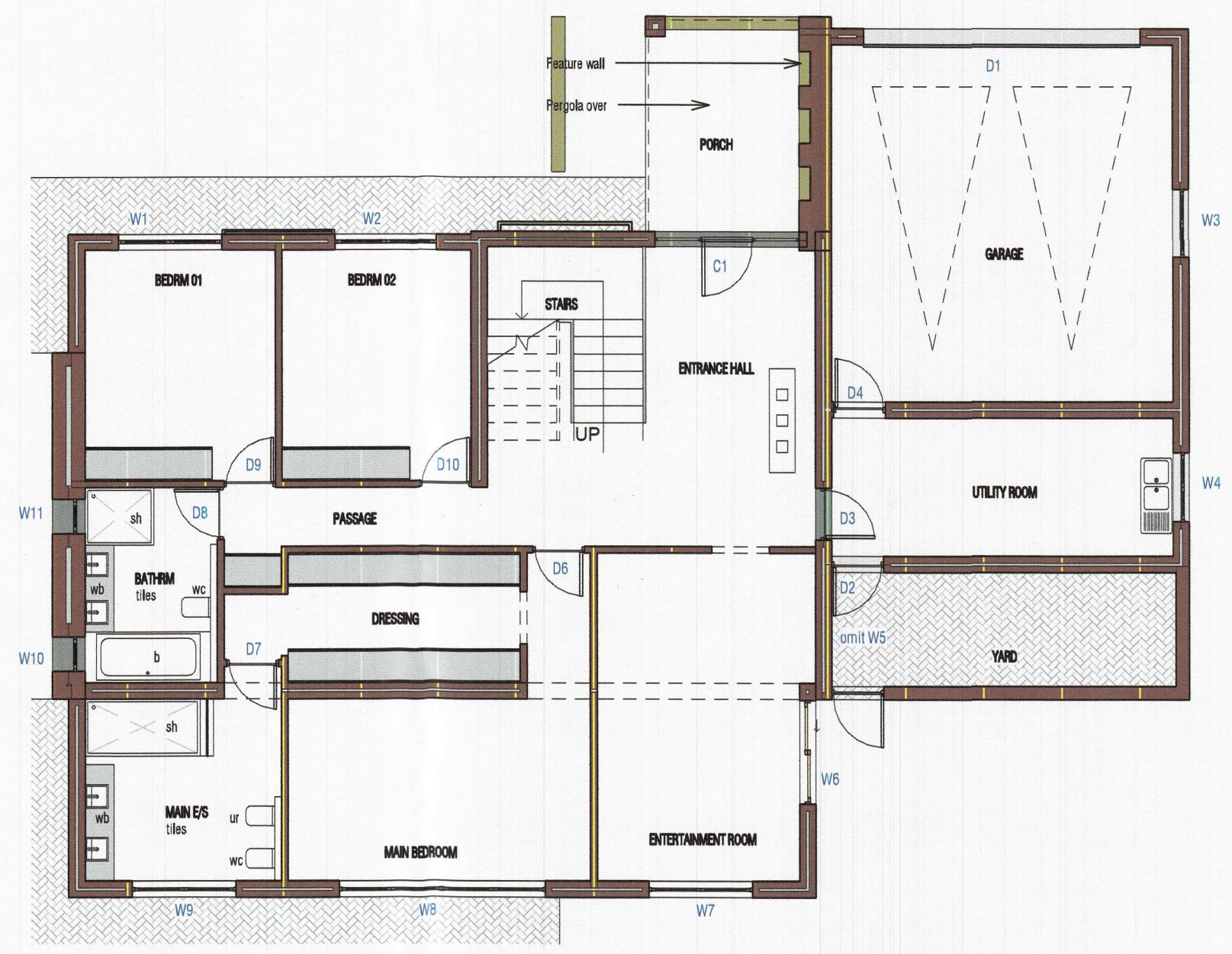


Richard Perfect Architects
Unit 11 | Gordianity Centre | Somerset West | 7130
Tel | 044 545 1514

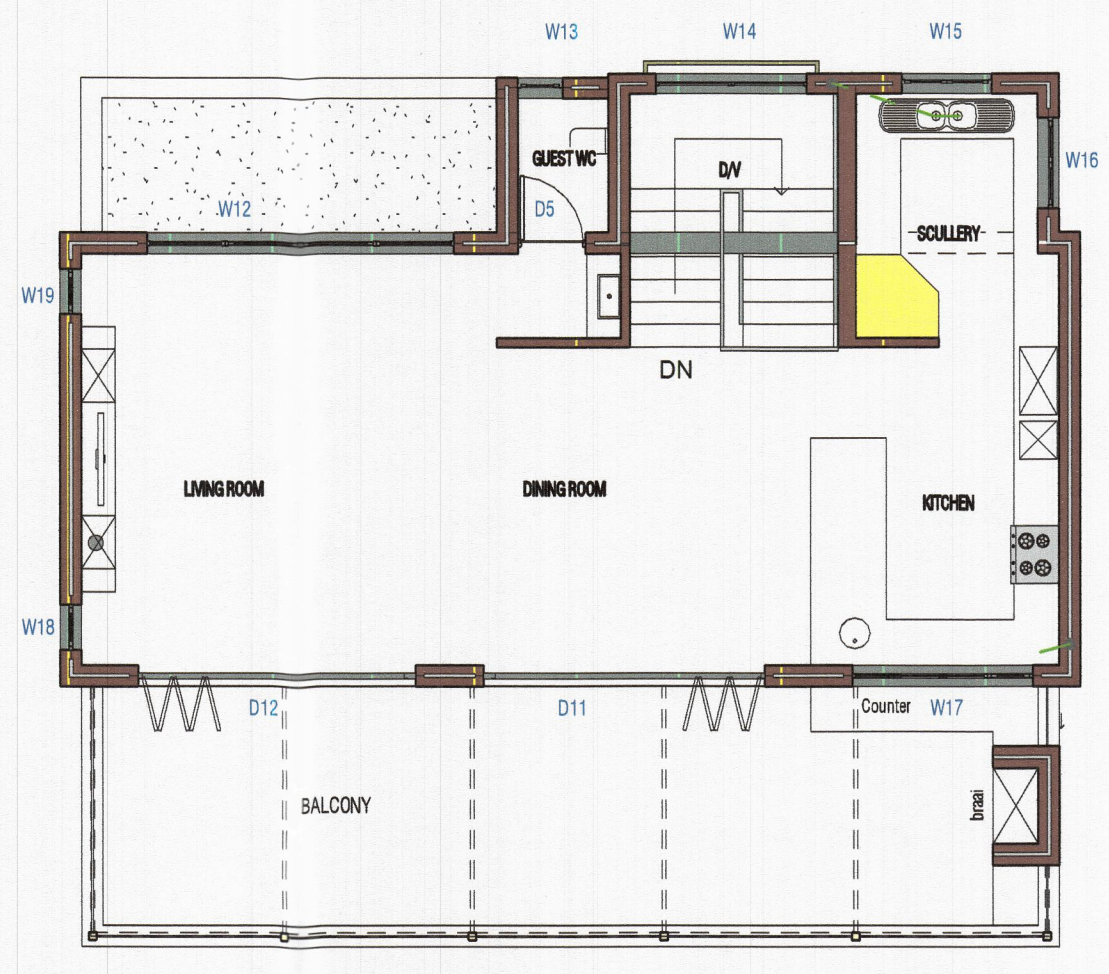
Project for:
HOUSE SANI, ERF 371 ROMANSBAAI, BIRKENHEAD

THIS DRAWING REMAINS THE PROPERTY OF RICHARD PERFECT ARCHITECTS + dh architecture. NO SCALING OFF THIS DRAWING. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO ANY BUILDING WORK COMMENCING. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

Date	2022-01-27 10:55:37 AM	Scale	1:50	Drawn	bernice	Element	CS04	Dwg. No.	103
COUNCIL SUBMISSION									



1 : 100
GROUND FLOOR - WINDOW AND DOOR CODES



1 : 100
FIRST FLOOR - WINDOW AND DOOR CODES

Municipal Spec Data - ITS Heat Pumps

Water Heating						
Dwelling bedrooms		1	2	3	4	5
People in dwelling	SANS 10252 table 5	2	4	6	8	10
Usage per person	SANS 10252 table 5	115	115	115	115	115
Daily Consumption		230	460	690	920	1150
Ambient input temperature	Degrees	15C	15C	15C	15C	15C
Target output temperature	Degrees	55C	55C	55C	55C	55C
Ave. temperature difference	Degrees	40C	40C	40C	40C	40C
Specific Heat fir 1L of water	jk/gK	4.184	4.184	4.184	4.184	5.184
Daily energy usage	kj	38	77	115	153	192
kwh per day	kWh	11	22	32	43	53
Annual energy usage	kWh	3893	8030	11680	15573	19467

Installation Supplier Specifics						
Storage capacity	40 - 50L per person	80	160	240	320	400
Flow rate	l/m	20	20	20	20	20
Heating capacity	kWh	4.7	4.7	4.7	4.7	4.7
Power consumption	kWh	1.17	1.17	1.17	1.17	1.17
Co-Efficient of productivity	COP	4	4	4	4	4
Annual heating energy	kWh	973	2008	2929	3893	4867
Efficiency target > 50% of output	kWh	1947	4015	5858	7787	9733
Efficiency produced	kWh	2920	6023	8751	11680	14600

All glazing to comply with requirements of SANS 10137 & SANS 10400 Part N.
All hot water service pipes shall be clad with insulation with a minimum R-value 1.0 to show compliance with SANS 10 400 – Part XA.

All hot water pipes exposed to the environment shall also be clad with an insulating material that has an R-value of 1 or bigger for pipes with an internal diameter of 80mm or less and 1.5 if it has an internal diameter of greater than 80mm.

At least 50% of all hot-water to be from alternative heating source: Heatpump

	W1	W2	W3	W4	OMIT W5	W6	W7	W8	W9	W10
<p>HEAD HEIGHT @ 2.4m FROM FFL</p> <p>Note: Glazing supplier to ensure all glass types & thicknesses are as per NBR1.</p> <p>All door handles at 900mm afft & to be confirmed by client</p> <p>Windows viewed from outside</p>										
<p>Code: W.1</p> <p>Room name: BEDROOM 1</p> <p>Size: 1,800m x 2,400m</p> <p>Window description: ALUMINIUM - SIDE HUNG WITH FIXED PANES</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.2</p> <p>Room name: BEDROOM 2</p> <p>Size: 1,800m x 2,400m</p> <p>Window description: ALUMINIUM - SIDE HUNG WITH FIXED PANES</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.3</p> <p>Room name: GARAGE</p> <p>Size: 1,200m x 1,500m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.4</p> <p>Room name: UTILITY ROOM</p> <p>Size: 1,200m x 1,500m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>		<p>Code: W.6</p> <p>Room name: ENTERTAINMENT ROOM</p> <p>Size: 1,800m x 2,400m</p> <p>Window description: ALUMINIUM - SIDE HUNG WITH FIXED PANES</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.7</p> <p>Room name: ENTERTAINMENT ROOM</p> <p>Size: 1,800m x 2,400m</p> <p>Window description: ALUMINIUM - SIDE HUNG WITH FIXED PANES</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.8</p> <p>Room name: MAIN BEDROOM</p> <p>Size: 3,600m x 2,400m</p> <p>Window description: ALUMINIUM - SIDE HUNG WITH FIXED PANES</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.9</p> <p>Room name: MAIN EN-SUITE</p> <p>Size: 1,800m x 2,400m</p> <p>Window description: ALUMINIUM - SIDE HUNG WITH FIXED PANES</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.10</p> <p>Room name: BATHROOM</p> <p>Size: 1,200m x 1,500m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: TO BE CONFIRMED</p>	
<p>HEAD HEIGHT @ 2.4m FROM FFL</p> <p>Note: Glazing supplier to ensure all glass types & thicknesses are as per NBR1.</p> <p>All door handles at 900mm afft & to be confirmed by client</p> <p>Windows viewed from outside</p>										
<p>Code: W.11</p> <p>Room name: BATHROOM</p> <p>Size: 0,900m x 1,500m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.12</p> <p>Room name: LIVING ROOM</p> <p>Size: 4,115m x 1,500m</p> <p>Window description: ALUMINIUM - SLIDING WINDOW</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.13</p> <p>Room name: DINING ROOM</p> <p>Size: 0,900m x 1,500m</p> <p>Window description: ALUMINIUM - SIDE HUNG WITH FIXED PANES</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.14</p> <p>Room name: STAIRS</p> <p>Size: 2,000m x 3,200m</p> <p>Window description: ALUMINIUM - FIXED PANE</p> <p>Colour: TO BE CONFIRMED</p>	<p>Code: W.15</p> <p>Room name: SCULLERY</p> <p>Size: 1,200m x 1,500m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.16</p> <p>Room name: SCULLERY</p> <p>Size: 1,200m x 1,500m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.17</p> <p>Room name: KITCHEN</p> <p>Size: 2,400m x 1,500m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.18</p> <p>Room name: LIVING ROOM</p> <p>Size: 0,900m x 1,800m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>	<p>Code: W.19</p> <p>Room name: LIVING ROOM</p> <p>Size: 0,900m x 1,800m</p> <p>Window description: ALUMINIUM - SIDE HUNG</p> <p>Colour: CHARCOAL</p> <p>Glazing: SEE SEPARATE FENESTRATION CALCULATIONS</p>		

1 : 50
Window schedule

OVERSTRAND MUNICIPALITY
Building Plan No. 145/2022
Is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer.
Date: 16 FEB 2022
Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager: Building Control
Date: 16 FEB 2022

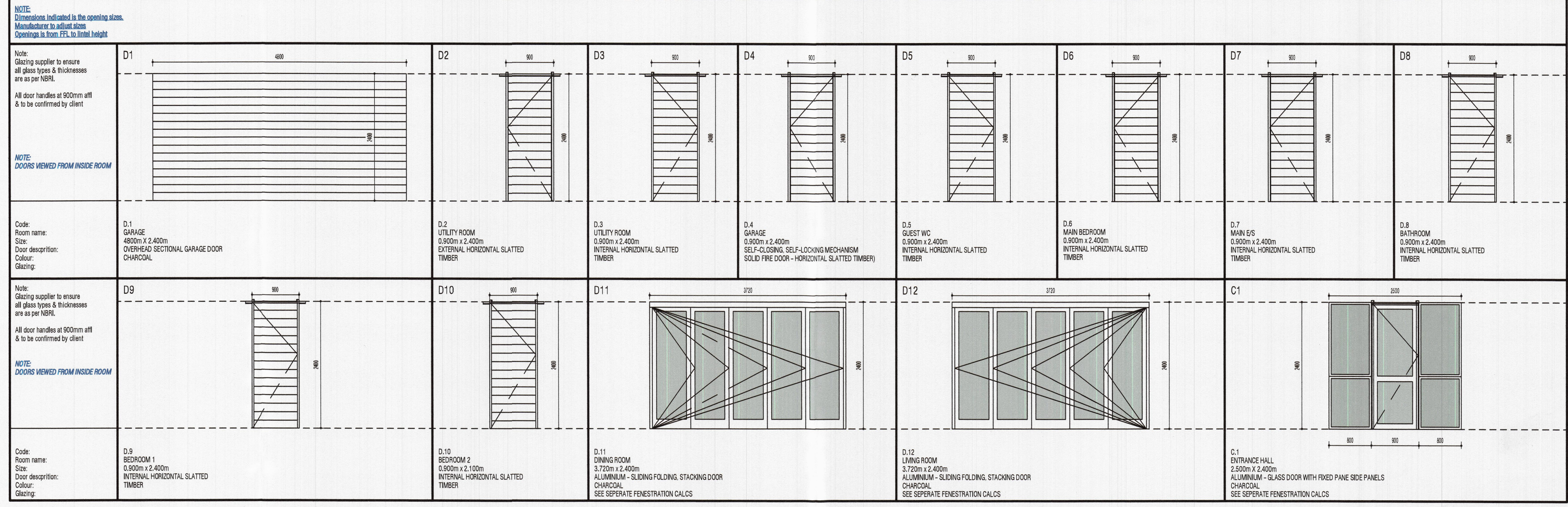
RICHARD PERFECT ARCHITECTS
dh architecture
Pr. Association: W 11 h
Unit 11 | Gordianity Centre | Somerset West | 7130
The Palms Lifestyle Centre | 145 Str. Lowry Rd. Cape Town 8001
f -442 1333 f -442 1343
Cell | 084 565 1514

Project for:
HOUSE SANI, ERF 371 ROMANSBAAI, BIRKENHEAD

Date	2022-01-27 10:55:59 AM	Scale	As indicated	Drawn	bernice	Element	CS04	Dwg. No.	104
COUNCIL SUBMISSION									

THIS DRAWING REMAINS THE PROPERTY OF RICHARD PERFECT ARCHITECTS + dh architecture. NO SCALING OFF THIS DRAWING AND LEVELS TO BE CHECKED ON SITE PRIOR TO ANY BUILDING WORK COMMENCING. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

APPROVED
for
Local Authority Submission
Signed: _____ Date: 31/01/2022
Kruger Theron Architects PrArch
Romansbaai Estate Architect



1 : 50
Door schedule

OVERSTRAND MUNICIPALITY
Building Plan No. 41036 is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer.
Date: 16 FEB 2022
Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager: Building Control
Date: 16 FEB 2022

FENESTRATION: GROUND FLOOR															
Ground Floor: ERF 371, Somerset West															
Internal nett area m ²	Window Number	Windows/Doors Dimensions		Overhang faktor p/h	P	H	G	Nett Glazing area m ²	orientation	Solar Exposure Values	Aluminium or Timber A or T	Glass value	Frame Value	Solar Heat Gain	
F	Code	WIDTH	HEIGHT	P/H	enter	enter	enter	A	E	enter	SHCG (S)	U	(A x U)	(A x S x E)	
143.5	W1	1.800	2.400	0.03	0.000	3.140	0.740	4.32	N	0.84	LE	0.59	4.29	18.53	2.14
	W2	1.800	2.400	0.03	0.000	3.140	0.740	4.32	N	0.84	LE	0.59	4.29	18.53	2.14
	W4	1.200	1.500	0.04	0.000	2.505	1.005	1.80	E	1.15	LE	0.59	4.29	7.72	1.22
	W6	1.800	2.400	0.03	0.000	2.975	0.575	4.32	E	1.15	LE	0.59	4.29	18.53	2.93
	W7	1.800	2.400	0.03	0.000	2.975	0.575	4.32	S	0.61	LE	0.59	4.29	18.53	1.55
	W8	3.600	2.400	0.03	0.000	2.975	0.575	8.64	S	0.61	LE	0.59	4.29	37.07	3.11
	W9	1.800	2.400	0.03	0.000	2.975	0.575	4.32	S	0.61	LE	0.59	4.29	18.53	1.55
	W10	1.200	1.500	0.03	0.100	5.300	3.800	1.80	W	1.4	LE	0.59	4.29	7.72	1.49
	W11	0.600	1.500	0.06	0.400	5.300	3.800	0.90	W	1.25	LE	0.59	4.29	3.86	0.66
	C1	2.500	2.400	1.49	3.740	2.620	0.220	6.00	N	0.17	LE	0.59	4.29	25.74	0.60
143.5								40.74						174.77	17.41

Glazing vs nett floor area ratio (A/F) %
28.39% DO NOT COMPLY WITH SANS 10400 BUT DOES COMPLY WITH SANS 204

Permissible Conductance
Nett floor area x Cu (Table 5 - 1.4)
200.90

Permissible SHGC
Nett floor area x Cshgc (Table 5 - 0.13)
18.66

Orientation
North orientated to achieve maximum

ENERGY EFFICIENCY
External Walls
New External walls to be 280mm plastered clay brick walls, and to exceed the min R-Value of 0.35

Roof Construction
Reflective insulation shall be installed and necessary air space will be supplied, in accordance with table 9 in order to achieve the min R-Value of 3.7 for Climate zone 4.
115 mm Flexible rockwool/mineral

Water Supply
A min R-Value of 1 will be achieved for all hot supply, by means of insulation.

FENESTRATION: FIRST FLOOR															
First Floor: ERF 371, Somerset West															
Internal nett area m ²	Window Number	Windows/Doors Dimensions		Overhang faktor p/h	P	H	G	Nett Glazing area m ²	orientation	Solar Exposure Values	Aluminium or Timber A or T	Glass value	Frame Value	Solar Heat Gain	
F	Code	WIDTH	HEIGHT	P/H	enter	enter	enter	A	E	enter	SHCG (S)	U	(A x U)	(A x S x E)	
84	W12	4.115	1.500	0.17	0.150	1.825	0.325	6.17	N	0.52	DG	0.345	2.882	17.79	1.11
	W13	0.600	1.500	0.09	0.000	1.970	0.470	0.90	N	0.65	DG	0.345	2.882	2.59	0.20
	W14	2.000	3.200	2.00	0.000	3.670	0.470	6.40	N	0.14	DG	0.345	2.882	18.44	0.31
	W15	1.200	1.500	0.09	0.000	1.970	0.470	1.80	N	0.65	DG	0.345	2.882	5.19	0.40
	W16	1.200	1.500	0.09	0.000	1.970	0.470	1.80	E	0.99	DG	0.345	2.882	5.19	0.61
	W17	2.400	1.500	2.31	3.300	1.500	0.000	3.60	S	0.17	DG	0.345	2.882	10.38	0.21
	W18	0.600	1.800	0.06	0.100	2.550	0.750	1.08	W	1.25	DG	0.345	2.882	3.11	0.47
	W19	0.600	1.800	0.06	0.100	2.550	0.750	1.08	W	1.25	DG	0.345	2.882	3.11	0.47
	D11	3.720	2.400	1.45	3.300	2.400	0.000	8.93	S	0.19	DG	0.345	2.882	25.73	0.59
	D12	3.720	2.400	1.45	3.300	2.400	0.000	8.93	S	0.19	DG	0.345	2.882	25.73	0.59
84								40.69						117.26	4.95

Glazing vs nett floor area ratio (A/F) %
48.44% DO NOT COMPLY WITH SANS 10400 BUT DOES COMPLY WITH SANS 204

Permissible Conductance
Nett floor area x Cu (Table 5 - 1.4)
117.60

Permissible SHGC
Nett floor area x Cshgc (Table 5 - 0.13)
10.92

Orientation
North orientated to achieve maximum

ENERGY EFFICIENCY
External Walls
New External walls to be 280mm plastered clay brick walls, and to exceed the min R-Value of 0.35

Roof Construction
Reflective insulation shall be installed and necessary air space will be supplied, in accordance with table 9 in order to achieve the min R-Value of 3.7 for Climate zone 4.
115 mm Flexible rockwool/mineral

Water Supply
A min R-Value of 1 will be achieved for all hot supply, by means of insulation.

THIS DRAWING REMAINS THE PROPERTY OF RICHARD PERFECT ARCHITECTS + dh architecture. NO SCALING OFF THIS DRAWING. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO ANY BUILDING WORK COMMENCING. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

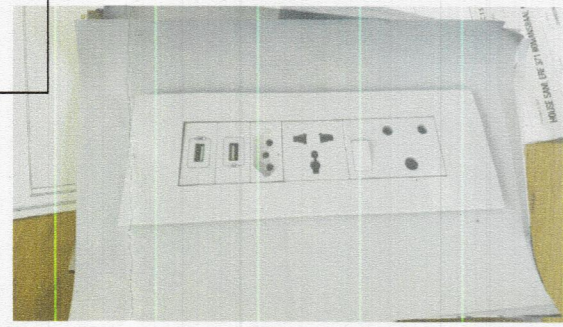
RICHARD PERFECT ARCHITECTS
dh architecture
The Palmes Lifestyle Centre 145 Sir Lowry Rd Cape Town 8001.
Tel: +27 21 462 1333 Fax: +27 21 462 1343
Cell: 084 545 1514

Project for: HOUSE SANI, ERF 371 ROMANSBAAI, BIRKENHEAD

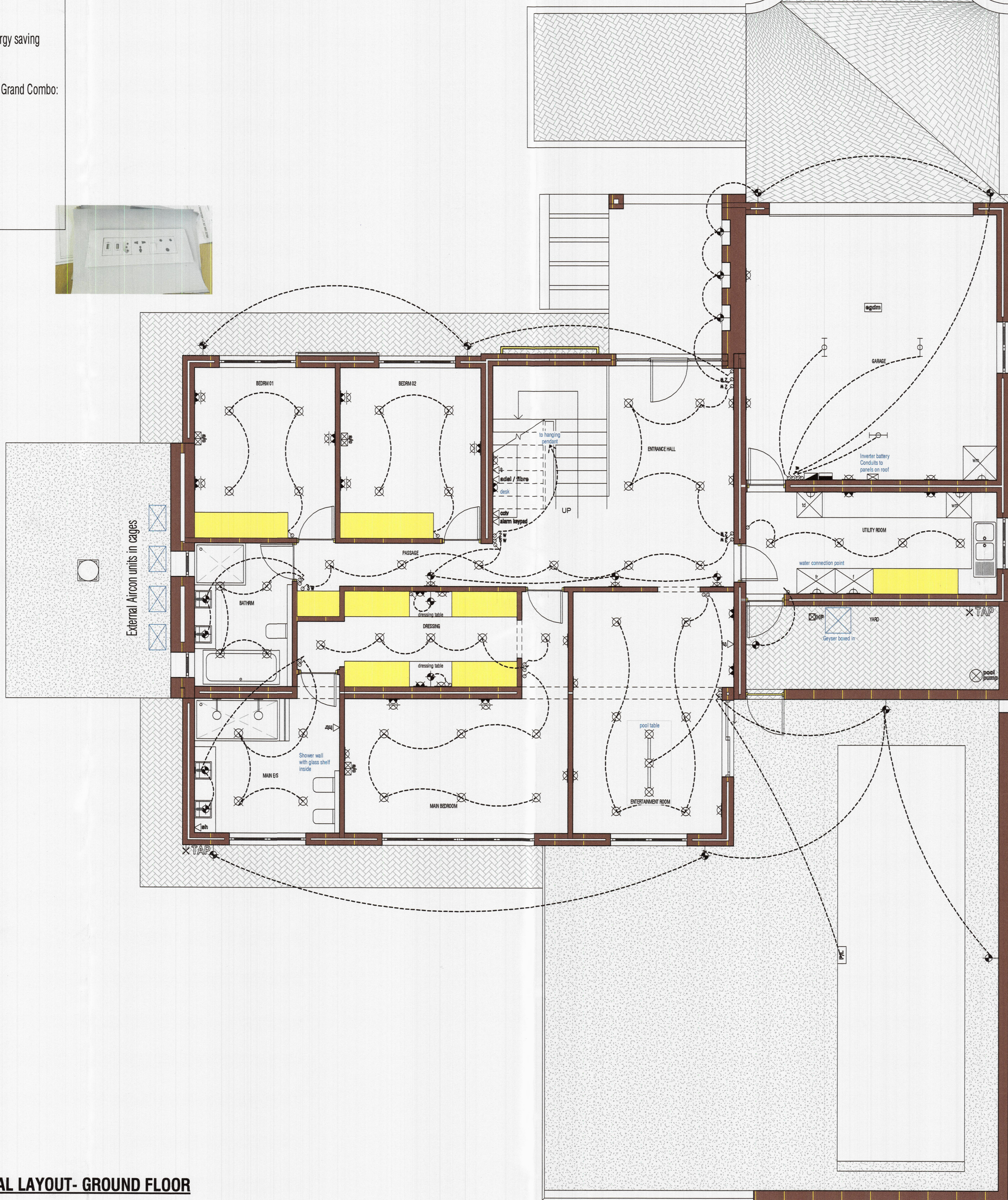
Date: 2022-01-27 10:55:40 AM
Scale: 1 : 50
Drawn: bernice
Element: CS04
Dwg. No.: 105
COUNCIL SUBMISSION

NOTES:

- * All downlights to be energy saving
- * Internal alarm
- * CCTV outside perimeter.
- * All upper plugs to be Le Grand Combo:



SWITCHES	
	single switch
	double switch
	trippie switch
	dimmer switch
	timer switch
	two way switch (1200mm above FFL) (three way / four way)
	two way dimmer switch
	under floor heating control (1200mm above FFL)
LIGHTING OUTLETS	
	ceiling mounted light
	low voltage ceiling down light
	wall mounted light
	fluorescent 2 tubes
	waterproof pool light
	brick light
	waterproof spike light
	Recessed floor light
	low voltage wall mounted light
	LED Tapelight
	Ceiling Feature light
	Under cupboard fest light
	Chandelier
POWER OUTLETS	
	single / double socket outlet (300mm above FFL)
	single / double socket outlet (1200mm above FFL)
	single / double waterproof socket outlet
LOW VOLTAGE OUTLETS	
	telephone point
	tv satellite point
	audi point
	computer point / power
	intercom - connected to entrance
	shaver point
	heated towel rail
OTHER	
	stove point
	extractor fan
	stove isolator
	hot water cylinder
	hot water cylinder point
	electrical garage door motor
	distribution board
	meter board
	aircon unit
	pool pump
	heat pump
	electrical gate motor
	waterfeature pump
	ceiling fan
	speaker
	falling lights
	water tap
	Underfloor Heating



OVERSTRAND MUNICIPALITY
 Building Plan No. 41036
 Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer.
 Date: 16 FEB 2022
 Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager: Building Control
 Date: 16 FEB 2022

1 : 50
Electrical legend1

1 : 50
ELECTRICAL LAYOUT- GROUND FLOOR

THIS DRAWING REMAINS THE PROPERTY OF RICHARD PERFECT ARCHITECTS + dh architecture. NO SCALING OFF THIS DRAWING. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO ANY BUILDING WORK COMMENCING. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

Richard Perfect Architects + **dh architecture**
 In Association With
 The Palm Lifestyle Centre, 145 Str Lawry Rd Cape Town 8001.
 Tel: +27 21 462 1333 | Fax: +27 21 462 1343
 Job 11 | Casularity Centre | Somerset West | 7150
 Call | 084 565 1514

Project for:

HOUSE SANI, ERF 371 ROMANSBAAI, BIRKENHEAD

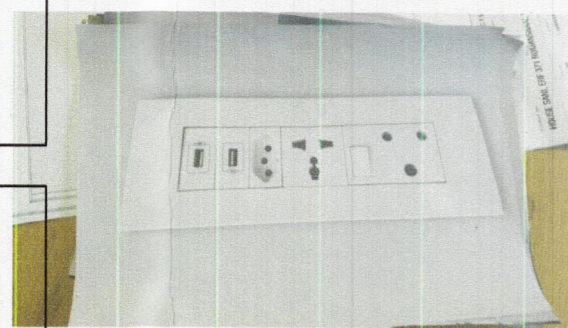
Date	Scale	Drawn	Element	Dwg. No.
2022-01-27 10:55:50 AM	1 : 50	SHIREEN	CS04	400

COUNCIL SUBMISSION

APPROVED
for
Local Authority Submission
Signed: *[Signature]* Date: 31/01/2022
Kruger Theron Architects PrArch
Romansbaai Estate Architect

NOTES:
* All downlights to be energy saving
* Internal alarm
* CCTV outside perimeter.
* All upper plugs to be Le Grand Combo:

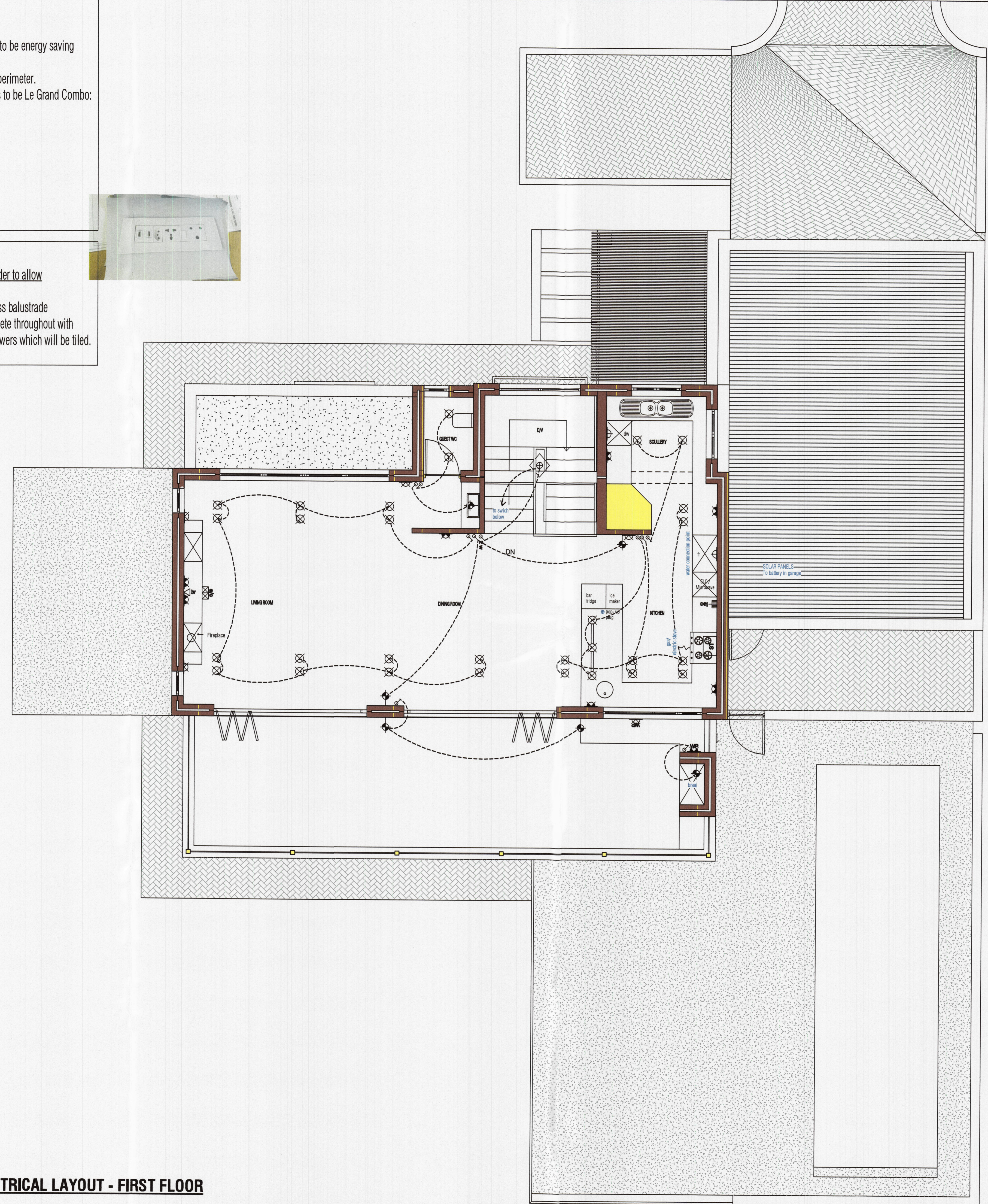
FINISHES:- Builder to allow
* Frameless glass balustrade
* Flooring concrete throughout with exception of showers which will be tiled.



SWITCHES	
	single switch
	double switch
	triple switch
	dimmer switch
	timer switch
	two way switch (1200mm above FFL) (three way / four way)
	two way dimmer switch
	under floor heating control (1200mm above FFL)
LIGHTING OUTLETS	
	ceiling mounted light
	low voltage ceiling down light
	wall mounted light
	fluorescent 2 tubes
	waterproof pool light
	brick light
	waterproof spike light
	Recessed floor light
	low voltage wall mounted light
	LED Tapelight
	Ceiling Feature light
	Under cupboard feet light
	Chandelier
POWER OUTLETS	
	single / double socket outlet (300mm above FFL)
	single / double socket outlet (1200mm above FFL)
	single / double waterproof socket outlet
LOW VOLTAGE OUTLETS	
	telephone point
	tv satellite point
	aerial point
	computer point / power
	intercom - connected to entrance
	shaver point
	heated towel rail
OTHER	
	stove point
	extractor fan
	stove isolator
	hot water cylinder
	hot water cylinder point
	electrical garage door motor
	distribution board
	meter board
	a/c
	pool pump
	heat pump
	electrical gate motor
	waterfeature pump
	ceiling fan
	speaker
	hanging lights
	water tap
	Underfloor Heating

1 : 50
electrical legend1

1 : 50
ELECTRICAL LAYOUT - FIRST FLOOR



OVERSTRAND MUNICIPALITY
Building Plan No. 41036 is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer.
Date: 16 FEB 2022
Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Manager: Building Control
Date: 16 FEB 2022

THIS DRAWING REMAINS THE PROPERTY OF RICHARD PERFECT ARCHITECTS + dh architecture. NO SCALING OFF THIS DRAWING. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO ANY BUILDING WORK COMMENCING. ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT.

RICHARD PERFECT ARCHITECTS
In Association with **dh architecture**
The Palms Lifestyle Centre 145 Str Lowry Rd Cape Town 8001.
Unit 11 | Gardenly Centre | Somerset West | 7130
T +462 1333 F +462 1343 Cell | 084 545 1514

Project for:
HOUSE SANI, ERF 371 ROMANSBAAI, BIRKENHEAD

Date	Scale	Drawn	Element	Dwg. No.
2022-01-27 10:55:58 AM	1 : 50	SHREEN	CS04	401

COUNCIL SUBMISSION